

GLENN COUNTY

Planning & Community Development Services Agency

777 N. Colusa Street
Willows, CA 95988
530.934.6540 Fax 530.934.6533
www.countyofglenn.net



Donald Rust, Director

Violich Farms
7929 County Road 9
Orland, CA 95963

RE: SPR 2019-019, Violich Farms, Approval Notice
APN: 037-260-009

November 21, 2019

To Whom It May Concern,

On October 23, 2019, the Glenn County Planning & Community Development Service Agency received your application for a Site Plan Review. This project is in the “AP-80” (Agriculture Preserve Zone) zoning district and is an allowed use with an approved Site Plan Review.

On November 21, 2019, the Glenn County Planning & Community Development Services Agency approved the Site Plan Review. Included with the Staff Report is a copy of the Compliance Requirement. Please sign the Compliance Requirement where indicated and email or send to Glenn County Planning & Community Development Services Agency, 777 North Colusa Street, Willows, CA 95988.

Please note that this is not a building permit. For information on acquiring a building permit, contact the Glenn County Building Inspection Division at (530) 934-6546.

Sincerely,

Greg Conant
Assistant Planner
gconant@countyofglenn.net

GLENN COUNTY

Planning & Community Development Services Agency

777 N. Colusa Street
Willows, CA 95988
530.934.6540 Fax 530.934.6533
www.countyofglenn.net



Donald Rust, Director

STAFF REPORT

DATE: November 21, 2019

TO: Donald Rust, Director

FROM: Greg Conant, Assistant Planner

RE: **Site Plan Review 2019-019, Violich Farms**
"AP-80" Agriculture Preserve Zone

Attachments:

1. Compliance Requirement
2. Agency Comments
3. Request for Review
4. Application Materials
5. Site Plan

1 PROJECT SUMMARY

North Valley Building Systems have applied to construct two roof cover extensions off an existing shop. Both roof cover extensions are 30 feet by 91 feet (2,730 Square Feet), for a total addition of 5,460 square feet and a peak height of approximately 24 feet.

The site is zoned “AP-80” Agriculture Preserve Zone (72-acre minimum parcel size) and is designated “Intensive Agriculture” in the Glenn County General Plan. The project is located at 7814 County Road 16, located approximately 1 ¾-miles west of west of Hamilton City; on the north side of County Road 16, east side of Stony Creek, south of State Route 32 and west of State Route 45, in the unincorporated area of Glenn County, California. The Assessor’s Parcel Number (APN) for the 107.42 ± acre site is 037-260-009.

1.1 RECOMMENDATIONS

Staff recommends that the Director find that this project qualifies as a statutory exemption within section 15268 of the California Environmental Quality Act.

Staff also recommends that the Director approve the Site Plan Review with the Findings as presented in the Staff Report and the Compliance Requirement as attached.

2 ANALYSIS

The proposed project is consistent with the land use in this area. This portion of Glenn County is an agricultural area and the proposed project is a permitted use with an approved Site Plan Review. A Site Plan Review is required prior to construction to ensure compliance with all the requirements of the Glenn County Code.

This proposal will not have any additional accompanying traffic; the area of operation has been used for agriculture and will not be altered with this proposal. The county roads are reasonably adequate to safely accommodate the proposed project.

2.1 ENVIRONMENTAL DETERMINATION

This project as proposed is not anticipated to introduce potentially significant impacts to the environment.

Site plan reviews are statutorily exempt pursuant to Section 15268, “*Ministerial Projects*”, of the Guidelines of the California Environmental Quality Act (CEQA). Article 18 (Statutory Exemptions), §15268(a) & (c) (Ministerial Projects).

Site plan reviews, outlined in Section 15.130 of the Glenn County Code, are deemed as a ministerial project within Glenn County Title 15, Unified Development Code (Title 15, Division 2, Part 1).

2.2 GENERAL PLAN AND ZONING CONSISTENCY

The site is designated “Intensive Agriculture” in the Glenn County General Plan and is zoned “AP-80” Agriculture Preserve Zone, minimum parcel size is 72-acres. The site is in an area of existing agricultural uses and agriculture accessory structures are permitted uses within the “AP-80” zone (Glenn County Code Chapter 15.460.020.J).

2.2.1 “AP” AGRICULTURE PRESERVE ZONE (GLENN COUNTY CODE CHAPTER 15.460):

Maximum Building Height (Glenn County Code §15.460.060)

The peak height of the proposed structures will meet the height requirement for the Agriculture Preserve Zone. §15.460.060.B

Minimum Yard Requirements (Glenn County Code §15.460.080):

The proposals front, side, and rear yards exceed 30 feet; therefore, the minimum yard requirements for Agriculture Preserve Zone will be met.

2.3 WILLIAMSON ACT CONTRACT

The project site is zoned (AP-80) and is under a Williamson Act Contract (Contract NO. WA 2007-012). According to California Government Code Section 51238.1, uses approved on contracted land shall be consistent with the principles found in that statute. The proposal is for the expansion of an Agriculture Accessory Structure. The proposal will not displace or impair current or reasonably foreseeable agriculture operations; will not result in the removal of any land from agriculture or open-space use and is not a residential subdivision. It is concluded this proposal is consistent with principles found in Section 51238.1 of the California Government Code. Additionally, this proposal would not represent a violation of Section 51250 of the California Government Code, as the proposal is for the expansion an Agriculture Accessory Structure.

2.4 GENERAL PROVISIONS

Flood Zone Designation:

Flood Zone “X” according to Flood Insurance Rate Map (FIRM) No. 06007C0425D, dated August 5, 2010 issued by the Federal Emergency Management Agency (FEMA). Flood Zone “X” (unshaded) consists of areas of minimal risk outside the 1-percent and 0.2-percent annual chance floodplains. No base flood elevations or base flood depths are shown within this zone.

Code Violations:

No records of violations exist on the property; therefore, the proposed building and Site Plan Review are compliant with Glenn County Code §15.130.050.F.

Fire Protection Regulations:

This project lies within the Hamilton City Fire Protection District. The fire district was provided the application information regarding the proposal and no comments were received.

Pacific Gas and Electric Company:

Pacific Gas and Electric (PG&E) was provided the application information and submitted a letter regarding the proposal (attached).

Public Works Department:

The Glenn County Public Works Department was provided the application information and have no comments or Compliance Requirements regarding the proposal.

3 NOTICE TO APPLICANT/AGENT

This site plan review is not a building permit. It is the applicant's responsibility to secure the necessary permits in all affected federal, state, and local agencies and submit copies of such permits to the Planning & Community Development Services Agency.

If upon approval of this site plan review any problem, nuisance, or health hazard arises from the operation allowed by this review, the director shall determine the need to revise or modify the use or require additional Compliance Requirements.

In addition to the staff report and Compliance Requirement, the applicant's and his/her technical or project management representative's attention is directed to the attached memoranda from agencies reflecting their comments on reviewing the application. The items noted are a guide to assist in meeting the requirements of applicable government codes. Memoranda may also note any unusual circumstances that require special attention. The items listed are a guide and not intended to be a comprehensive summary of all codified requirements or site-specific requirements

3.1 PERMIT ISSUANCE AND APPEAL PERIOD (GLENN COUNTY CODE §15.130.060)

Site plan review permits shall be effective upon issuance, unless within ten (10) calendar days of a decision by the Director, the decision is appealed as provided for in Section 15.050.010. In the case of an appeal being filed, the site plan review permit shall not have any force or effect until a decision is made by the Approving Authority on such an appeal.

Additionally, site plan review permit approvals shall not be valid until the permittee has agreed in writing to each term and requirement thereof.

4 FINDINGS

As described and found in this report, and in accordance with Glenn County Code Section 15.130.050, *the Approving Authority shall only approve or conditionally approve a site plan review permit if all of the following findings are made:*

Finding 1

The proposed use is a permitted and allowed use in the "AP-80" zoning district.

Finding 2

The site for the project is adequate in size, shape, location, and physical characteristics to accommodate the proposed project.

Finding 3

Based on responsible agency review of the project, there are adequate public or private services, including but not limited to fire protection, water supply, sewage disposal, and storm drainage.

Finding 4

The project is in conformance with the applicable provisions and policies of Title 15 of the Glenn County Code and the Glenn County General Plan.

Finding 5

The county roads which serve the project are reasonably adequate to safely accommodate the proposed project.

Finding 6

After searching county records, no violation of the Glenn County Code currently exists on the property.



Glenn County Environmental Health

247 N Villa Avenue, Willows, CA 95988
(530) 934-6102 • Fax: (530) 934-6103

Date: October 29, 2019

To: Greg Conant, Assistant Planner
Planning & Community Development Services Agency
(Via Email)

From: Kevin Backus, REHS
Director, Glenn County Environmental Health Department

Re: Site Plan Review 2019-019, APN 037-260-009, Violich Farms (Roof Cover Extension)

We have reviewed the application information for the project noted above and recommend it be found complete for further processing. We have the following comments/requirements:

1. The proposed project parcel has an existing onsite wastewater treatment system (OWTS), replacement area and water well.
2. The proposed Roof Cover Extension shall not affect any part of the OWTS or replacement area.

Please contact Environmental Health at 530-934-6102 with any questions on this matter.

PUBLIC WORKS AGENCY

P.O. Box 1070 / 777 N. Colusa Street
Willows, CA 95988
530.934.6530 Fax 530.934.6533
www.countyofglenn.net



November 15, 2019

Glenn County Planning and
Community Development Services
777 N. Colusa Street
Willows, CA 95988

Attn: Greg Conant, Assistant Planner

Subject: Site Plan Review 2019-019 – Violich Farms

Comments

None

Conditions

None

Michael Biggs
Engineering Technician III
Glenn County Public Works



October 28, 2019

Greg Conant
Glenn County Planning
777 N Colusa Street
Willows, CA 95988

Ref: Gas and Electric Transmission and Distribution

Dear Mr. Conant,

Thank you for submitting the Violich Farms plans for our review. PG&E will review the submitted plans in relationship to any existing Gas and Electric facilities within the project area. If the proposed project is adjacent/or within PG&E owned property and/or easements, we will be working with you to ensure compatible uses and activities near our facilities.

Attached you will find information and requirements as it relates to Gas facilities (Attachment 1) and Electric facilities (Attachment 2). Please review these in detail, as it is critical to ensure your safety and to protect PG&E's facilities and its existing rights.

Below is additional information for your review:

1. This plan review process does not replace the application process for PG&E gas or electric service your project may require. For these requests, please continue to work with PG&E Service Planning: https://www.pge.com/en_US/business/services/building-and-renovation/overview/overview.page.
2. If the project being submitted is part of a larger project, please include the entire scope of your project, and not just a portion of it. PG&E's facilities are to be incorporated within any CEQA document. PG&E needs to verify that the CEQA document will identify any required future PG&E services.
3. An engineering deposit may be required to review plans for a project depending on the size, scope, and location of the project and as it relates to any rearrangement or new installation of PG&E facilities.

Any proposed uses within the PG&E fee strip and/or easement, may include a California Public Utility Commission (CPUC) Section 851 filing. This requires the CPUC to render approval for a conveyance of rights for specific uses on PG&E's fee strip or easement. PG&E will advise if the necessity to incorporate a CPUC Section 851 filing is required.

This letter does not constitute PG&E's consent to use any portion of its easement for any purpose not previously conveyed. PG&E will provide a project specific response as required.

Sincerely,

Plan Review Team
Land Management



Attachment 1 – Gas Facilities

There could be gas transmission pipelines in this area which would be considered critical facilities for PG&E and a high priority subsurface installation under California law. Care must be taken to ensure safety and accessibility. So, please ensure that if PG&E approves work near gas transmission pipelines it is done in adherence with the below stipulations. Additionally, the following link provides additional information regarding legal requirements under California excavation laws: <http://usanorth811.org/wp-content/uploads/2017/05/CA-LAW-English.pdf>

1. **Standby Inspection:** A PG&E Gas Transmission Standby Inspector must be present during any demolition or construction activity that comes within 10 feet of the gas pipeline. This includes all grading, trenching, substructure depth verifications (potholes), asphalt or concrete demolition/removal, removal of trees, signs, light poles, etc. This inspection can be coordinated through the Underground Service Alert (USA) service at 811. A minimum notice of 48 hours is required. Ensure the USA markings and notifications are maintained throughout the duration of your work.
2. **Access:** At any time, PG&E may need to access, excavate, and perform work on the gas pipeline. Any construction equipment, materials, or spoils may need to be removed upon notice. Any temporary construction fencing installed within PG&E's easement would also need to be capable of being removed at any time upon notice. Any plans to cut temporary slopes exceeding a 1:4 grade within 10 feet of a gas transmission pipeline need to be approved by PG&E Pipeline Services in writing PRIOR to performing the work.
3. **Wheel Loads:** To prevent damage to the buried gas pipeline, there are weight limits that must be enforced whenever any equipment gets within 10 feet of traversing the pipe.

Ensure a list of the axle weights of all equipment being used is available for PG&E's Standby Inspector. To confirm the depth of cover, the pipeline may need to be potholed by hand in a few areas.

Due to the complex variability of tracked equipment, vibratory compaction equipment, and cranes, PG&E must evaluate those items on a case-by-case basis prior to use over the gas pipeline (provide a list of any proposed equipment of this type noting model numbers and specific attachments).

No equipment may be set up over the gas pipeline while operating. Ensure crane outriggers are at least 10 feet from the centerline of the gas pipeline. Transport trucks must not be parked over the gas pipeline while being loaded or unloaded.

4. **Grading:** PG&E requires a minimum of 36 inches of cover over gas pipelines (or existing grade if less) and a maximum of 7 feet of cover at all locations. The graded surface cannot exceed a cross slope of 1:4.
5. **Excavating:** Any digging within 2 feet of a gas pipeline must be dug by hand. Note that while the minimum clearance is only 12 inches, any excavation work within 24 inches of the edge of a pipeline must be done with hand tools. So to avoid having to dig a trench entirely with hand tools, the edge of the trench must be over 24 inches away. (Doing the math for a 24 inch wide trench being dug along a 36 inch pipeline, the centerline of the trench would need to be at least 54 inches [$24/2 + 24 + 36/2 = 54$] away, or be entirely dug by hand.)



Water jetting to assist vacuum excavating must be limited to 1000 psig and directed at a 40° angle to the pipe. All pile driving must be kept a minimum of 3 feet away.

Any plans to expose and support a PG&E gas transmission pipeline across an open excavation need to be approved by PG&E Pipeline Services in writing PRIOR to performing the work.

6. Boring/Trenchless Installations: PG&E Pipeline Services must review and approve all plans to bore across or parallel to (within 10 feet) a gas transmission pipeline. There are stringent criteria to pothole the gas transmission facility at regular intervals for all parallel bore installations.

For bore paths that cross gas transmission pipelines perpendicularly, the pipeline must be potholed a minimum of 2 feet in the horizontal direction of the bore path and a minimum of 12 inches in the vertical direction from the bottom of the pipe with minimum clearances measured from the edge of the pipe in both directions. Standby personnel must watch the locator trace (and every ream pass) the path of the bore as it approaches the pipeline and visually monitor the pothole (with the exposed transmission pipe) as the bore traverses the pipeline to ensure adequate clearance with the pipeline. The pothole width must account for the inaccuracy of the locating equipment.

7. Substructures: All utility crossings of a gas pipeline should be made as close to perpendicular as feasible (90° +/- 15°). All utility lines crossing the gas pipeline must have a minimum of 12 inches of separation from the gas pipeline. Parallel utilities, pole bases, water line 'kicker blocks', storm drain inlets, water meters, valves, back pressure devices or other utility substructures are not allowed in the PG&E gas pipeline easement.

If previously retired PG&E facilities are in conflict with proposed substructures, PG&E must verify they are safe prior to removal. This includes verification testing of the contents of the facilities, as well as environmental testing of the coating and internal surfaces. Timelines for PG&E completion of this verification will vary depending on the type and location of facilities in conflict.

8. Structures: No structures are to be built within the PG&E gas pipeline easement. This includes buildings, retaining walls, fences, decks, patios, carports, septic tanks, storage sheds, tanks, loading ramps, or any structure that could limit PG&E's ability to access its facilities.

9. Fencing: Permanent fencing is not allowed within PG&E easements except for perpendicular crossings which must include a 16 foot wide gate for vehicular access. Gates will be secured with PG&E corporation locks.

10. Landscaping: Landscaping must be designed to allow PG&E to access the pipeline for maintenance and not interfere with pipeline coatings or other cathodic protection systems. No trees, shrubs, brush, vines, and other vegetation may be planted within the easement area. Only those plants, ground covers, grasses, flowers, and low-growing plants that grow unsupported to a maximum of four feet (4') in height at maturity may be planted within the easement area.

11. Cathodic Protection: PG&E pipelines are protected from corrosion with an "Impressed Current" cathodic protection system. Any proposed facilities, such as metal conduit, pipes,



service lines, ground rods, anodes, wires, etc. that might affect the pipeline cathodic protection system must be reviewed and approved by PG&E Corrosion Engineering.

12. Pipeline Marker Signs: PG&E needs to maintain pipeline marker signs for gas transmission pipelines in order to ensure public awareness of the presence of the pipelines. With prior written approval from PG&E Pipeline Services, an existing PG&E pipeline marker sign that is in direct conflict with proposed developments may be temporarily relocated to accommodate construction work. The pipeline marker must be moved back once construction is complete.

13. PG&E is also the provider of distribution facilities throughout many of the areas within the state of California. Therefore, any plans that impact PG&E's facilities must be reviewed and approved by PG&E to ensure that no impact occurs which may endanger the safe operation of its facilities.



Attachment 2 – Electric Facilities

It is PG&E's policy to permit certain uses on a case by case basis within its electric transmission fee strip(s) and/or easement(s) provided such uses and manner in which they are exercised, will not interfere with PG&E's rights or endanger its facilities. Some examples/restrictions are as follows:

1. **Buildings and Other Structures:** No buildings or other structures including the foot print and eave of any buildings, swimming pools, wells or similar structures will be permitted within fee strip(s) and/or easement(s) areas. PG&E's transmission easement shall be designated on subdivision/parcel maps as **"RESTRICTED USE AREA – NO BUILDING."**
2. **Grading:** Cuts, trenches or excavations may not be made within 25 feet of our towers. Developers must submit grading plans and site development plans (including geotechnical reports if applicable), signed and dated, for PG&E's review. PG&E engineers must review grade changes in the vicinity of our towers. No fills will be allowed which would impair ground-to-conductor clearances. Towers shall not be left on mounds without adequate road access to base of tower or structure.
3. **Fences:** Walls, fences, and other structures must be installed at locations that do not affect the safe operation of PG&E's facilities. Heavy equipment access to our facilities must be maintained at all times. Metal fences are to be grounded to PG&E specifications. No wall, fence or other like structure is to be installed within 10 feet of tower footings and unrestricted access must be maintained from a tower structure to the nearest street. Walls, fences and other structures proposed along or within the fee strip(s) and/or easement(s) will require PG&E review; submit plans to PG&E Centralized Review Team for review and comment.
4. **Landscaping:** Vegetation may be allowed; subject to review of plans. On overhead electric transmission fee strip(s) and/or easement(s), trees and shrubs are limited to those varieties that do not exceed 15 feet in height at maturity. PG&E must have access to its facilities at all times, including access by heavy equipment. No planting is to occur within the footprint of the tower legs. Greenbelts are encouraged.
5. **Reservoirs, Sumps, Drainage Basins, and Ponds:** Prohibited within PG&E's fee strip(s) and/or easement(s) for electric transmission lines.
6. **Automobile Parking:** Short term parking of movable passenger vehicles and light trucks (pickups, vans, etc.) is allowed. The lighting within these parking areas will need to be reviewed by PG&E; approval will be on a case by case basis. Heavy equipment access to PG&E facilities is to be maintained at all times. Parking is to clear PG&E structures by at least 10 feet. Protection of PG&E facilities from vehicular traffic is to be provided at developer's expense AND to PG&E specifications. Blocked-up vehicles are not allowed. Carports, canopies, or awnings are not allowed.
7. **Storage of Flammable, Explosive or Corrosive Materials:** There shall be no storage of fuel or combustibles and no fueling of vehicles within PG&E's easement. No trash bins or incinerators are allowed.
8. **Streets and Roads:** Access to facilities must be maintained at all times. Street lights may be allowed in the fee strip(s) and/or easement(s) but in all cases must be reviewed by PG&E for



proper clearance. Roads and utilities should cross the transmission easement as nearly at right angles as possible. Road intersections will not be allowed within the transmission easement.

9. Pipelines: Pipelines may be allowed provided crossings are held to a minimum and to be as nearly perpendicular as possible. Pipelines within 25 feet of PG&E structures require review by PG&E. Sprinklers systems may be allowed; subject to review. Leach fields and septic tanks are not allowed. Construction plans must be submitted to PG&E for review and approval prior to the commencement of any construction.

10. Signs: Signs are not allowed except in rare cases subject to individual review by PG&E.

11. Recreation Areas: Playgrounds, parks, tennis courts, basketball courts, barbecue and light trucks (pickups, vans, etc.) may be allowed; subject to review of plans. Heavy equipment access to PG&E facilities is to be maintained at all times. Parking is to clear PG&E structures by at least 10 feet. Protection of PG&E facilities from vehicular traffic is to be provided at developer's expense AND to PG&E specifications.

12. Construction Activity: Since construction activity will take place near PG&E's overhead electric lines, please be advised it is the contractor's responsibility to be aware of, and observe the minimum clearances for both workers and equipment operating near high voltage electric lines set out in the High-Voltage Electrical Safety Orders of the California Division of Industrial Safety (<https://www.dir.ca.gov/Title8/sb5g2.html>), as well as any other safety regulations. Contractors shall comply with California Public Utilities Commission General Order 95 (http://www.cpuc.ca.gov/gos/GO95/go_95_startup_page.html) and all other safety rules. No construction may occur within 25 feet of PG&E's towers. All excavation activities may only commence after 811 protocols has been followed.

Contractor shall ensure the protection of PG&E's towers and poles from vehicular damage by (installing protective barriers) Plans for protection barriers must be approved by PG&E prior to construction.

13. PG&E is also the owner of distribution facilities throughout many of the areas within the state of California. Therefore, any plans that impact PG&E's facilities must be reviewed and approved by PG&E to ensure that no impact occurs that may endanger the safe and reliable operation of its facilities.

COMPLIANCE REQUIREMENT

Site Plan Review 2019-019

APN: 037-260-009

1. That the area of operation shall be confined to those areas as shown on the site plan being identified as Exhibit "A" as submitted and on file at the Glenn County Planning & Community Development Services Agency.

Acknowledgment:

I hereby declare that I have read the foregoing conditions that they are in fact the conditions that were imposed upon the granting of this permit, and that I agree to abide fully by said conditions. Additionally, I have read the staff report and I am aware of codified county, state, and/or federal standards and regulation that shall be met with the granting of this permit.

Signed: _____
Bret Wood – North Valley Building Systems

Date: _____

Signed: _____
Violich Farms Inc., Representative

Date: _____

GLENN COUNTY

Planning & Community Development Services Agency

777 N. Colusa Street
Willows, CA 95988
530.934.6540 Fax 530.934.6533
www.countyofglenn.net



Donald Rust, Director

REQUEST FOR REVIEW

COUNTY DEPARTMENTS/DISTRICTS

- ☒ Glenn County Agricultural Commissioner
- ☒ Glenn County Air Pollution Control District/CUPA
- ☒ Glenn County Assessor
- ☒ Glenn County Building Inspector
- ☒ Glenn County Engineering & Surveying Division
- ☒ Glenn County Environmental Health Department
- ☒ Glenn County Sheriff's Department
- ☐ Glenn County Board of Supervisors
- ☐ Glenn County Counsel
- ☐ Glenn County Planning Commission
- ☐ Glenn LAFCO

FEDERAL AGENCIES

- ☐ U.S. Army Corps of Engineers
- ☐ U.S. Fish and Wildlife Service
- ☐ U.S. Department of Agriculture
- ☐ U.S. Bureau of Reclamation - Willows

OTHER

- ☐ Western Area Power Administration
- ☐ Sacramento River National Wildlife Refuge
- ☐ City of Willows
- ☐ Community Services District:
- ☒ Pacific Gas and Electric Company (PG&E)
- ☒ Fire Protection District: Hamilton City
- ☐ Glenn County Resource Conservation District
- ☐ School District:

STATE AGENCIES

- ☐ Central Valley Flood Protection Board
- ☐ Central Valley Regional Water Quality Control Board (RWQCB)
- ☐ State Water Resources Control Board – Division of Drinking Water
- ☐ Department of Alcoholic Beverage Control (ABC)
- ☐ Department of Conservation, Division of Land Resource Protection
- ☐ Department of Conservation, Office of Mine Reclamation (OMR)
- ☐ Department of Conservation, Division of Oil, Gas, and Geothermal Resources
- ☐ Department of Fish and Wildlife
- ☐ Department of Food and Agriculture
- ☐ Department of Forestry and Fire Protection (Cal Fire)
- ☐ Department of Housing and Community Development (HCD)
- ☐ Department of Public Health
- ☐ Department of Toxic Substances Control (DTSC)
- ☐ Department of Transportation (Caltrans)
- ☐ Department of Water Resources (DWR)
- ☐ Office of the State Fire Marshall
- ☐ CalRecycle

- ☐ Northeast Center of the California Historical Resources Information System
- ☐ Railroad:
- ☐ Reclamation District:
- ☐ Water/Irrigation District:
- ☐ Special District:
- ☐ Tehama-Colusa Canal Authority
- ☐ UC Cooperative Extension Office

DATE: October 25, 2019

PROJECT: Site Plan Review 2019-019
Violich Farms, Roof Cover Extensions

PLANNER: Greg Conant, Assistant Planner; gconant@countyofglenn.net

APPLICANT: North Valley Building Systems
#30 Seville ct.
Chico, CA 95928

LANDOWNER: Violich Farms
7929 County Road 9
Orland, CA 95963

ENGINEER: Tomas Manning
236 A East Avenue #325
Chico, CA 95928

PROPOSAL: Site Plan Review 2019-019
Violich Farms, Roof Cover Extensions

North Valley Building Systems have applied to construct two roof cover extensions off an existing shop. Both roof cover extensions are 30 feet by 91 feet (2,730 Square Feet), for a total additional of 5,460 square feet and a peak height of approximately 24 feet.

LOCATION: The project is located approximately 1 ¾-miles west of west of Hamilton City; on the north side of County Road 16, east side of Stony Creek, south of State Route 32 and west of State Route 45, in the unincorporated area of Glenn County, California.

APN: 037-260-009 (107.42 ± acres)

ZONING: “AP-80” Agriculture Preserve Zone (72-acre, minimum parcel size)

GENERAL PLAN: “Intensive Agriculture”

FLOOD ZONE: Flood Zone “X” according to Flood Insurance Rate Map (FIRM) No. 06007C0425D, dated August 5, 2010 issued by the Federal Emergency Management Agency (FEMA). Flood Zone “X” (unshaded) consists of areas of minimal risk outside the 1-percent and 0.2-percent annual chance floodplains. No base flood elevations or base flood depths are shown within this zone.

The Glenn County Planning Division is requesting comments on this proposal for determination of completeness, potential constraints, and/or proposed Compliance Requirement. If comments are not received by **Friday, November 15, 2019**, it is assumed that there are no specific comments to be included in the analysis of the project. Comments submitted by e-mail are acceptable. Thank you for considering this matter.

AGENCY COMMENTS:

Please consider the following:

1. Is the information in the application complete enough to analyze impacts and conclude review?
2. Comments may include project-specific code requirements unique to the project. Cite code section and document (i.e. General Plan, Subdivision Map Act, etc.).
3. What are the recommended Compliance Requirement for this project and justification for each Requirement? When should each Compliance Requirement be accomplished (i.e. prior to any construction at the site, prior to recording the parcel map, filing the Final Map, or issuance of a Certificate of Occupancy, etc.)?

SPR _____

**GLENN COUNTY
PLANNING AND COMMUNITY
DEVELOPMENT SERVICES AGENCY**
777 North Colusa Street
WILLOWS, CA 95988
(530) 934-6540
FAX (530) 934-6533
Planning@countvofglenn.net

APPLICATION FOR SITE PLAN REVIEW (AGRICULTURAL)

NOTE: FAILURE TO ANSWER APPLICABLE QUESTIONS AND REQUIRED ATTACHMENTS COULD DELAY THE PROCESSING OF YOUR APPLICATION.

1. **Applicant(s):**

Name: North Valley Building Systems

Address: #30 Seville ct.

Phone: (Business) 530-345-7296 (Home) _____

Fax: 530-345-2399 E-mail: Bret@northvalleybuilding.com

2. **Property Owner(s):**

Name: Violich Farms, Inc.

Address: 7929 County Rd 9, Orland, CA 95963

Phone: (Business) 530-682-4389 (Home) _____

Fax: _____ E-mail: Bwalsh@capayfarms.com

3. **Engineer/Person who Prepared Site Plan (if applicable):**

Name: Tomas W. Manning

Mailing Address: 236 A East Ave, #325

Phone: (Business) 530-893-5937 (Home) _____

Fax: 530-891-5925 E-mail: Tom@manningengineering.net

4. Name and address of property owner's duly authorized agent (if applicable) who is to be furnished with notice of hearing (Section 65091 California Government Code).

Name: Ben Walsh Please CC N.V.B.S @ #30 Seville ct. Chico, CA 95928

Mailing Address: PO Box 248 Hamilton City, CA 95951

5. Request or Proposal:

Construct 2 each (2) 86' x 30' roof cover extensions off existing shop building. Each roof proposed roof area will be placed over existing concrete that is already currently being used for the existing farming operation.

6. Address and Location of Project: 7814 County Rd. 16 Hamilton City, CA 95951

7. Current Assessor's Parcel Number(s): 037-260-009

8. Existing Zoning: AP-80

Zoning Map <http://gis.gcppwa.net/zoning/>

9. Existing Use of Property: Agricultural with supporting structures

10. Provide any additional information that may be helpful in evaluating your proposal:

These proposed additions are being constructed over existing concrete that has been used for the existing farming operation for several years. These proposed additions will have no affect on existing conditions or required services.

11. Provide the following building information:

Height of structure: 20'

Dimensions Including Overhangs: 91 ' x 30' , 2730 ft²
x2 = 5460 ft²

Proposed Use: covered storage

DECLARATION UNDER PENALTY OF PERJURY

(Must be signed by Applicant(s) and Property Owner(s))

(Additional sheets may be necessary)

The Applicant(s) and/or Property Owner(s), by signing this application, shall be deemed to have agreed to defend, indemnify, release and hold harmless the County, its agents, officers, attorneys, employees, boards and commissions from any claim, action or proceeding brought against the foregoing individuals or entities, the purpose of which is to attack, set aside, void or null the approval of this development entitlement or approval or certification of the environmental document which accompanies it, or to obtain damages relating to such action(s). This indemnification agreement shall include, but not be limited to, damages, costs expenses, attorney fees or expert witness fees that may be asserted by any person or entity, including the applicant, arising out of or in connection with the approval of the entitlement whether or not there is concurrent passive or active negligence on the part of the County.

Applicant(s):

Signed: Bret J Wood

Print: Bret Wood

Date: 10-19-19

Address: #30 Seville ct. Chico, CA 95928

I am (We are) the owner(s) of property involved in this application and I (We) have completed this application and all other documents required.

I am (We are) the owner(s) of the property involved in this application and I (We) acknowledge the preparation and submission of this application.

I (We) declare under penalty of perjury that the foregoing is true and correct.

Property Owner(s):

Signed: 

Print: Paul A. Viollet . FOR VIOLLET FARMS

Date: 10/19/2019.

Address: 7929 County RD 9, ORLAND, CA 95963

CAPAY FARMS

October 17, 2019

Glenn County
Planning and Public Works Agency
Planning Department
777 N. Colusa Street
Willows, CA 95988

Attn: Planning

Re: Site Plan Review of Roof only additions
Capay Farms, APN: 037-260-009

To whom it may concern,

Please find attached our application for the site plan review of 2 each 30' x 86' roof only pre-engineered metal building additions, on the parcel listed above. These roof only structures will be built over existing concrete paving that has been used for the existing farming operation already with no known detrimental effects on existing conditions or required services. The proposed pre-engineered metal buildings are of like construction of the surrounding building already in place on the parcel.

If you have any questions, please don't hesitate to contact me at 530-682-4389.



Ben Walsh

RECORDING REQUESTED BY

COS ENCLOSED

Glenn County Title Company
Escrow No. 024186SL Order No. 024186

AND WHEN RECORDED MAIL TO

Name Violich Farms, Inc.
Address 1750 Dayton Road
City, State, & Zip Chico, CA 95928

2007-3563
Recorded at the request of
GLENN COUNTY TITLE CO
06/12/2007 02:49P
Fee: 13.00 No of Pages:3

OFFICIAL RECORDS
Vince T Minto Clerk-Recorder
Glenn County, CA

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INDIVIDUAL GRANT DEED

APN: 037-260-002-9, 037-260-006-9, 037-260-009-9, 037-270-004-9, and 037-270-005-9

The undersigned grantor(s) declare(s):

Documentary transfer tax is \$9,324.70

☐ computed on full value of property conveyed, or

☐ computed on full value less value of liens and encumbrances remaining at time of sale.

☒ Unincorporated area: ☐ City

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged.

Hamilton Orchards, a General Partnership

hereby GRANT(S) to Violich Farms, Inc., a California Corporation

the following described real property in the Unincorporated Area, County of GLENN, State of California:

See Legal Description attached hereto and made a part hereof

Grantor(s) herein reserve all right, title and interest in and to all oil gas, minerals, and hydrocarbons.

Dated: May 22, 2007

STATE OF CALIFORNIA
COUNTY OF GLENN

} SS.

Hamilton Orchards, a General Partnership

On 6/8/07 before me, SLA Loesch, Notary Public, personally appeared ****Terrance J. Devine and Margaret L. Devine**** personally known to me ~~(or proved to me on the basis of satisfactory evidence)~~ to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument

Terrance J. Devine
Terrance J. Devine, Co-Trustee of The Terrance J. Devine and Margaret L. Devine 2007 Trust dated April 25, 2007

Margaret L. Devine
Margaret L. Devine, Co-Trustee of The Terrance J. Devine and Margaret L. Devine 2007 Trust dated April 25, 2007

WITNESS my hand and official seal.

Signature

SLA Loesch

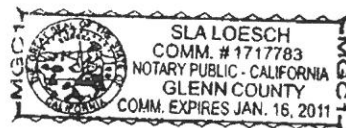
MAIL TAX

STATEMENTS TO: [SAME AS ABOVE]

NAME

ADDRESS

CITY, STATE & ZIP



STATE OF CALIFORNIA
COUNTY OF GLENN

} SS.

On 6/8/07 before me, SLA Loesch, Notary Public, personally appeared ****Patricia Bartels**** personally ~~known to me~~ (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) ~~is~~ are subscribed to the within instrument and acknowledged to me that he/~~she~~/they executed the same in his/~~her~~/their authorized capacity(ies), and that by his/~~her~~/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument

Hamilton Orchards, a General Partnership

Patricia Bartels Trustee

Patricia Bartels, Trustee of The James A. Bartels Testamentary Trust B.

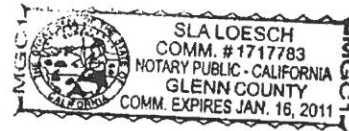
Patricia Bartels Trustee

Patricia Bartels, Trustee of The Patricia Bartels 2007 Trust dated April 25, 2007

WITNESS my hand and official seal.

Signature

SLA Loesch



2007-3563

Pg: 2/3

Escrow No.: 024186SL
Title Order No.: 024186

EXHIBIT A

PARCEL ONE: Parcel 1 as shown on that certain Parcel Map filed for record in the office of the County Recorder, County of Glenn, State of California, on July 18, 1977 in Book 6 of Parcel Maps at page 14.

EXCEPTING THEREFROM 50% of all oil, gas, and minerals as reserved in Deed from Mills Orchards Associates, a partnership, to Agro Farms, Inc., a Hawaii corporation, dated October 13, 1978 and recorded January 2, 1979 in Book 638 of Official Records, at page 654.

PARCEL TWO: Parcel 1 as shown on that certain Parcel Map filed for record in the office of the County Recorder, County of Glenn, State of California on March 22, 1977 in Book 5 of Parcel Maps at page 89.

EXCEPTING THEREFROM 50% of all mineral rights and 50% of all oil, gas and other hydrocarbons.

PARCEL THREE: Parcel 2 as shown on that certain Parcel Map filed for record in the office of the County Recorder, County of Glenn, State of California, on July 18, 1977 in Book 6 of Parcel Maps at page 14.

EXCEPTING THEREFROM 50% of all oil, gas and minerals as reserved in Deed from Mills Orchards Associates, a partnership, to Keith McCoy et ux, dated November 2, 1978 and recorded January 2, 1979 in Book 638 of Official Records, at page 618.

PARCEL FOUR: Parcel 3 as shown on that certain Parcel Map filed for record in the office of the County Recorder, County of Glenn, State of California, on July 18, 1977 in Book 6 of Parcel Maps at page 14.

EXCEPTING THEREFROM 50% of all mineral rights and 50% of all oil, gas and other hydrocarbons as reserved in Deed from Mills Orchards Associates, a partnership, to Hassan Amer and Thea Amer, his wife, as Community Property, as to an undivided one-half interest; and Paul J. Hoekenga, Jr. And Kathryn J. Hoekenga, his wife, as tenants in common, as to an undivided one-half interest, dated August 1, 1977 and recorded August 18, 1977 in Book 617 of Official Records, at page 127.

PARCEL FIVE: Parcel 4 as shown on that certain Parcel Map filed for record in the office of the County Recorder, County of Glenn, State of California, on July 18, 1977 in Book 6 of Parcel Maps at page 14.

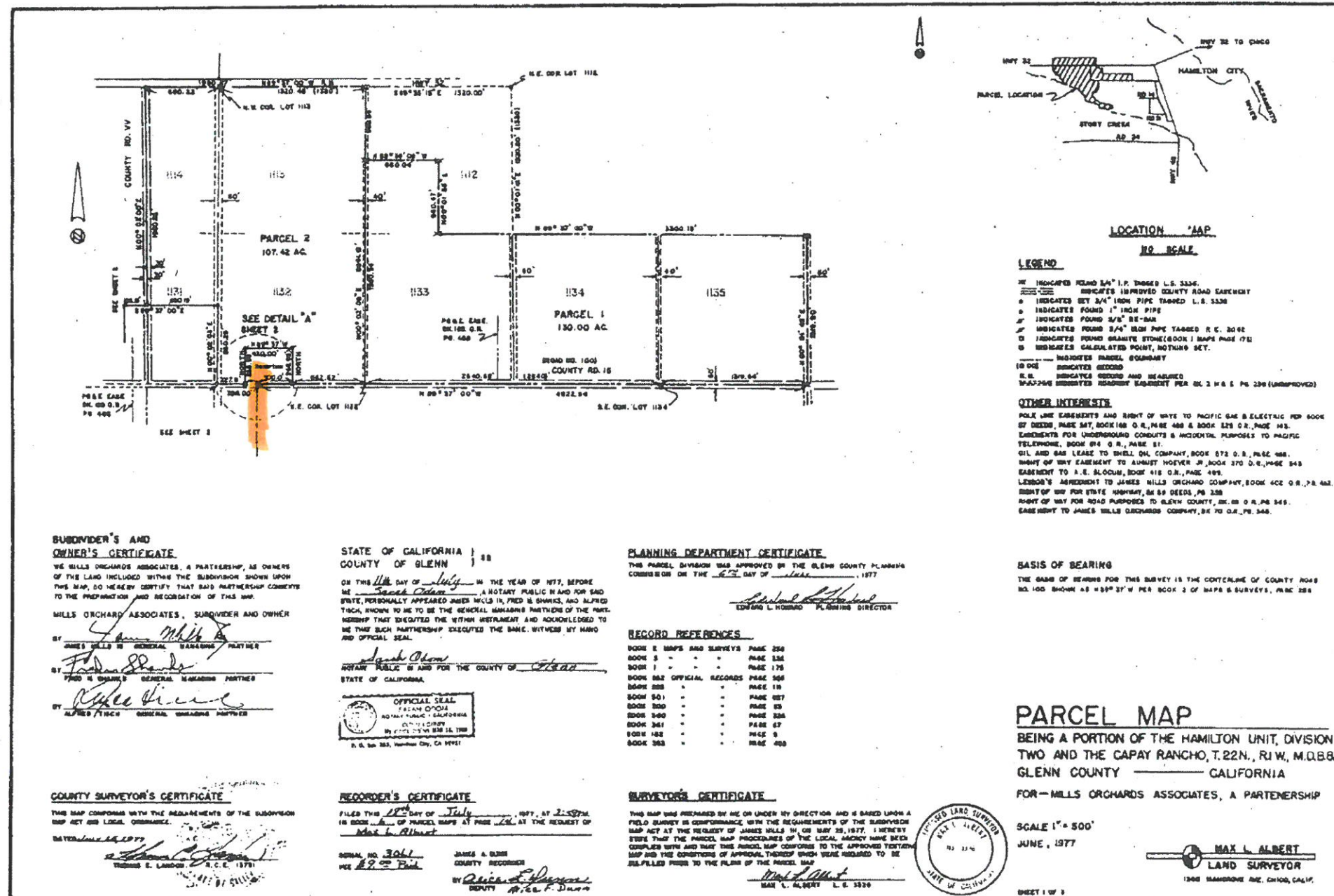
TOGETHER WITH that certain easement as reserved in Deed from Mills Orchards Associates, a partnership to Wilson Duncan, Jr. And Neoma M. Duncan, his wife, as Community Property, dated November 16, 1978 and recorded January 2, 1979, Book 638 Official Records, page 624, more particularly described as follows:

The right of ingress and egress over the existing road from the West end of County Road #16 to the Northwest corner of Parcel 4 of the above referred to Parcel map where the existing road connects with State Highway #32.

EXCEPTING THEREFROM 50% of all the Grantors right, title, and interest in and to all oil, gas and minerals as reserved in Deed from Mills Orchards Associates, a partnership to SPM Orchards, a partnership, dated November 6, 1978 and recorded January 2, 1979 in Book 638 of Official Records, at page 644.

APN: 037-260-002-9, 037-260-006-9, 037-260-009-9, 037-270-004-9, and 037-270-005-9





77-3061
6 PM 14

CONTRACTOR

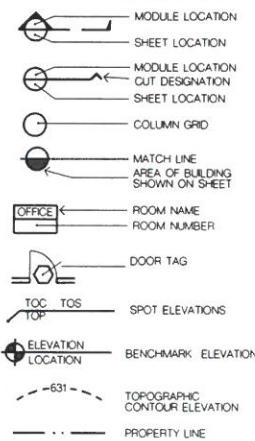
NORTH VALLEY BUILDING SYSTEMS, INC.
30 SEVILLE COURT
CHICO, CA 95926
PHONE: 530/345-7296
FAX: 530/345-2399
CONTACT: BRETT WOOD
EMAIL: brett@northvalleybuilding.com



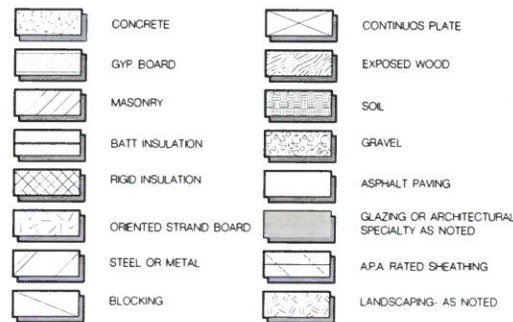
ABT.	ANCHOR BOLTS	G/L	GLU-LAMINATED	psf	POUNDS PER SQUARE FOOT
AGGR.	AGGREGATE	G/N	GANG-NAIL	PSL	PARALLEL STRAND LUMBER
ANC.	ANCHOR	GYP.	GYPSUM	P/T	POST TENSIONING
APPROX.	APPROXIMATE	HD	HOLD DOWN	P.T.D.F.	PRESSURE TREATED DOUGLAS FIR
A/R	ARCHITECT OF RECORD	HSB	HIGH STRENGTH BOLTS	PFB	PRE-FABRICATED
ARCH	ARCHITECT	HSS	HOLLOW STRUCTURAL SECTION	RAD. r.	RADIUS
ASPH.	ASPHALT	HT	HEIGHT	REF.	REFERENCE, REFER TO
ASSY.	ASSEMBLY	HOVZ	HORIZONTAL	REINF.	REINFORCING
BD.	BOARD	ICB	INTERNATIONAL BUILDING CODE	REBAR	REINFORCING STEEL BAR
BLDG	BUILDING	ID.	INSIDE DIAMETER	RS	ROUGH SAWN
BLK	BLOCK	IF.	INSIDE FACE	RECD.	REQUIRED
BLKG	BLOCKING	IN	INTERIOR	REV.	REVISED, REVISION
BM	BEAM	INT	INTERIOR	RHWS	ROUND HEAD WOOD SCREWS
BN	BOUNDARY NAIL	JH	JOIST HANGER	RM	ROOM
BOT.	BOTTOM	JST	JOIST	SAD	SEE ARCHITECTURAL DRAWING
BRG	BEARING	JT.	JOINT	SB	SOLID BLOCKING
BTWN	BETWEEN	K	KIP, KILLO-POUND	SCHED.	SCHEDULE
CANTL.	CANTILEVER	LDP.	LICENSED DESIGN PROFESSIONAL	SOS	SIMPSON STRONG DRIVE SCREW
CBC	CALIFORNIA BUILDING CODE	LL	FLOOR (OR ROOF) LIVE LOAD	SECT.	SECTION
CL	CONSTRUCTION LOAD	LLH	LONG LEG HORIZONTAL	SHT.	SHEET
CLG	CELINGS	LLV	LONG LEG VERTICAL	SHTG	SHEATHING
CLR	CLEAR	LT	LIGHT	SM	SIMILAR
CMU	CONCRETE MASONRY UNIT	LTWT.	LIGHT WEIGHT	SL	ROOF (OR DECK) SNOW LOAD
COL	COLUMN	LL	LIVE LOAD	SOG	SLAB ON GRADE
CJ	CONTROL JOINT	LOCS	LOCATIONS	SPEC	SPECIFICATION
CONC	CONCRETE	LVL	LAMINATED STRAND LUMBER	SQ	SQUARE
CONN	CONNECTION	LVL	LAMINATED VENEER LUMBER	STD	STANDARD
CONST.	CONSTRUCTION	MACH	MACHINE	STL	STEEL
CONT.	CONTINUOUS	MATL.	MATERIAL	STIFF.	STIFFENER
CSK.	COUNTERSINK	MAX	MAXIMUM	STRUCT.	STRUCTURAL
DBL	DOUBLE	MB	MACHINE BOLT	STS	SELF-TAPPING SCREW
DF	DOUGLAS FIR, LARCH	MECH.	MECHANICAL	SW	SHEAR WALL
DI	DIAMETER	MEZZ	MEZZANINE	SYM.	SYMMETRICAL
DIAG	DIAGONAL	MEQR	MANUFACTURER	T & B	TOP & BOTTOM
DM	DIMENSION	MIW.	MALLEABLE IRON WASHER	T & G	TONGUE & GROOVE
DL	DEAD LOAD	MIN.	MINIMUM	TFJH	TOP FLANGE JOIST HANGER
DEMO	DEMOLISH, DEMOLITION	mph	MILES PER HOUR	THK.	THICK
DP	REPEAT	MSC.	MISCELLANEOUS	TN	TOE NAIL
DRWG	DRAWING	MTL.	METAL	TOFTG	TOP OF FOOTING
DTL	DETAIL	NI	NEW	TOP	TOP OF PLATE
ED	EXISTING	NO	NUMBER	TOPLY.	TOP OF PLYWOOD
EA	EACH	NOM	NOMINAL	TOS	TOP OF SLAB
EF	EACH FACE	NSA	NELSON STUD ANCHOR	TOW	TOP OF WALL
ELEV	ELEVATION	NTS	NOT TO SCALE	TOSTL	TOP OF STEEL
EN	ENGINEER OF RECORD	OD	ON CENTER	TS	TUBE STEEL, SEE YSS
EOR	ENGINEER OF RECORD	OF	OUTSIDE DIAMETER	TYP.	TYPICAL
EW	EACH WAY	OH	OUTSIDE FACE	UNO.	UNLESS NOTED OTHERWISE
EXT.	EXTERIOR	OPNG	OPENING	UNO	UNLESS OTHERWISE NOTED
FDN	FOUNDATION	OPP	OPPOSITE	VERT.	VERTICAL
FF	FINISH FLOOR	ORIG	ORIGINAL	WO	WOOD
FG	FINISH GRADE	OSB	ORIENTED STRAND LUMBER	WP	WORK POINT
FLR	FLOOR	OWG	OPEN WEB GIRDER	w/	WITH
FN	FIELD NAIL	OWJ	OPEN WEB JOIST	w/s	WITHOUT
F.O.C.	FACE OF CONCRETE	o/	OVER	W/WF	WIND/SESMIC
FOM	FACE OF MASONRY	PERP.	PERPENDICULAR	W/WF	WIDEN FLANGE STEEL SECTION
FOS	FACE OF STUD	PLCS	PLACES	W/WF	WIDEN FLANGE STEEL SECTION
FRMG	FRAMING	PLY	PLYWOOD	W/WF	WIDEN FLANGE STEEL SECTION
FT.	FOOT	PMD	PLY-METAL DRILLERS	W/WF	WIDEN FLANGE STEEL SECTION
FTG	FOOTING	PI	POUNDS PER LINEAL FOOT	W/WF	WIDEN FLANGE STEEL SECTION
FUR	FURRING	PRL	PARALLEL	W/WF	WIDEN FLANGE STEEL SECTION
Ga	GAGE	PSI	POUNDS PER SQUARE FOOT	W/WF	WIDEN FLANGE STEEL SECTION
GALV.	GALVANIZED	PSI	POUNDS PER SQUARE FOOT	W/WF	WIDEN FLANGE STEEL SECTION

ABBREVIATIONS

PLAN SYMBOLS



MATERIAL SYMBOLS



PLAN SYMBOLS AND GRAPHICS LEGEND

GENERAL NOTES

GENERAL CONDITIONS

- ALL PHASES OF THE WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE 2016 CALIFORNIA BUILDING CODE, AS WELL AS ALL OTHER APPLICABLE LOCAL, MUNICIPAL, STATE AND FEDERAL REGULATIONS. ALL WORK IS SUBJECT TO THE APPROVAL OF THE LOCAL BUILDING DEPARTMENT AND FIELD INSPECTOR.
- ICC-ES REPORTS, ASTM SPECIFICATIONS, IBC AND CBC STANDARDS REFERENCED IN THESE DRAWINGS SHALL BE OF THE LATEST REVISION.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS AT THE JOB SITE PRIOR TO STARTING CONSTRUCTION. NOTED DIMENSIONS TAKE PRECEDENCE OVER THE APPARENT SCALE OF A DRAWING COMPONENT. DO NOT SCALE DRAWINGS. ANY DISCREPANCIES OR INCONSISTENCIES FOUND SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION BEFORE WORK PROCEEDS.
- THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE UNLESS OTHERWISE INDICATED. THEY DO NOT SPECIFY METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL NECESSARY STEPS AND PRECAUTIONS TO MAINTAIN THE STABILITY OF THE STRUCTURE AND PROTECT WORKMEN AND OTHER PERSONS DURING CONSTRUCTION. SPECIFIC ITEMS TO BE CONSIDERED SHALL INCLUDE, BUT NOT BE LIMITED TO, THE ADEQUACY OF ALL FORMS, SCAFFOLDING, AND SHORING FOR CONSTRUCTION EQUIPMENT; SHORING OF TILT-UP WALLS; AND TEMPORARY LATERAL BRACING OF THE STRUCTURE.
- THE ENGINEER IS RESPONSIBLE FOR SPECIFIC STRUCTURAL ITEMS ONLY. ANY CHANGES MADE TO THE PLANS OR CALCULATIONS WILL REQUIRE A REVIEW AND APPROVAL BY THE ENGINEER. IF ANY CHANGES ARE MADE WITHOUT THE ENGINEER'S APPROVAL, THE ENGINEER WILL ASSUME NO RESPONSIBILITY FOR ANY ELEMENT OR SYSTEM OF THE STRUCTURE.
- DEPENDENT ON THE SCALE OF THE PROJECT, MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) DRAWINGS MAY OR MAY NOT BE INCLUDED IN THE DRAWING SET. THE DRAWING INDEX VERIFIES WHICH SHEETS SHOULD BE INCLUDED IN THE DRAWING SET. IF NO MEP DRAWINGS ARE INCLUDED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND HIS SUBCONTRACTORS TO INSURE THAT ALL WORK IS PERFORMED IN COMPLIANCE WITH THE APPLICABLE CODES. IF MEP DRAWINGS ARE INCLUDED, SUCH DRAWINGS ARE SUPPLEMENTAL TO THE ARCHITECTURAL AND STRUCTURAL DRAWINGS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR ENGINEER FOR CLARIFICATION.
- DEPENDENT ON THE SCALE OF THE PROJECT, REFER TO THE ENERGY COMPLIANCE SHEETS FOR THE REQUIREMENTS ASSOCIATED WITH CALIFORNIA TITLE 24 ENERGY REQUIREMENTS.
- REVIEW OF STEEL SHOP DRAWINGS AND CALCULATIONS BY THE ENGINEER DOES NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH THE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS. THIS REVIEW IS ONLY A CHECK FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPT OF THE PROJECT AND GENERAL COMPLIANCE WITH THE INFORMATION GIVEN IN THE CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRELATING ALL QUANTITIES AND DIMENSIONS, SELECTING FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION, COORDINATING HIS WORK WITH THAT OF OTHER TRADES, AND PERFORMING HIS WORK IN A SAFE AND SATISFACTORY MANNER.
- IF CERTAIN MINOR DETAILS OF CONSTRUCTION ARE NOT FULLY DESCRIBED ON THE DRAWINGS OR CALLED FOR IN NOTES OR SPECIFICATIONS, THEIR CONSTRUCTION SHALL RESEMBLE SIMILAR CONDITIONS THAT ARE FULLY SHOWN AND SHALL BE REVIEWED BY THE ENGINEER.



VICINITY MAP

SCOPE OF WORK

THIS PROJECT SHALL CONSIST OF THE CONSTRUCTION TWO (2) OPEN ROOF EXTENSIONS TO AN EXISTING METAL STORAGE BUILDING ON A CONCRETE FOUNDATION FOR AGRICULTURAL USE. THE PRIMARY FRAME AND SHELL FRAMING SYSTEMS ARE DESIGNED BY BUTLER MANUFACTURING COMPANY. THE FOUNDATION SYSTEMS ARE DESIGNED BY MANNING ENGINEERING. THE SCOPE OF WORK SHALL INCLUDE ALL TRADES NECESSARY TO COMPLETE THE STRUCTURE.

GOVERNING CODES

2016 CALIFORNIA BUILDING CODE

JURISDICTION DATA

JURISDICTION - COUNTY OF GLENN
ASSESSORS PARCEL NUMBER 037-260-009-000
ZONING - AGRICULTURAL
C.D.F. - SRA - 180
FLOOD ZONE - 2c

AREAS & DESCRIPTIONS

(E) AGRICULTURAL STORAGE BUILDING	6,450 SQ. FT.
(E) OPEN LEAN-TO	1875 SQ. FT.
(E) OPEN COVERED WASH RACK	2,036 SQ. FT.
(N) OPEN ROOF EXTENSIONS	5,460 SQ. FT.
TOTAL AREA	15,821 SQ. FT. GROUP U (SECTION 312)

CBC CONSTRUCTION TYPE

TYPE I-B, NON-SPRINKLERED (SECTION 602.2)

ALLOWABLE AREA (TABLE 506.2)

GROUP U, TYPE I-B
8,500 SQ. FT. ALLOWED > 6,450 SQ. FT. (ENCLOSED) OK

CODE SUMMARY

QUALITY ASSURANCE

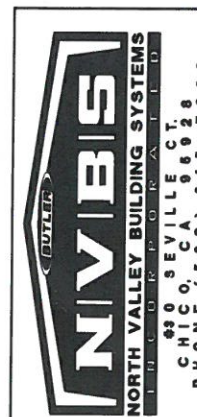
- QUALITY ASSURANCE WILL BE ACCOMPLISHED THROUGH THE USE OF SPECIAL INSPECTION MATERIALS TESTING. THE ENGINEERS REVIEW OF SUBMITTALS AND STRUCTURAL OBSERVATION IN ADDITION, THE CONTRACTOR SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE BUILDING OFFICIAL AND OWNER PRIOR TO THE COMMENCEMENT OF WORK IN ACCORDANCE WITH SECTION 1706 OF THE 2016 CBC.

SPECIAL INSPECTION

- SPECIAL INSPECTION AND ASSOCIATED MATERIALS TESTING SHALL BE PERFORMED BY A QUALIFIED PERSON OR AGENCY DESIGNATED BY THE OWNER, WHO SHALL DEMONSTRATE COMPETENCE TO THE SATISFACTION OF THE BUILDING OFFICIAL AND ENGINEER OF RECORD FOR INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION REQUIRING SPECIAL INSPECTION PRIOR TO START OF WORK.
- STRUCTURAL WELDING: ALL SHOP AND FIELD WELDING SHALL REQUIRE CONTINUOUS OR PERIODIC INSPECTION PER TABLE 1704.3 OF THE 2016 CBC UNLESS FABRICATOR IS AN APPROVED SHOP LISTED BY ICC-ES, ABC, CCA, OR OTHER NATIONALLY-RECOGNIZED AGENCY. APPROVED FABRICATOR CERTIFICATES MUST BE PROVIDED WITH A COMPLETED SPECIAL INSPECTION FORM PRIOR TO START OF WORK.
- HIGH-STRENGTH BOLTING: THE INSTALLATION OF ALL HIGH-STRENGTH BOLTS SHALL REQUIRE CONTINUOUS OR PERIODIC INSPECTION PER TABLE 1704.3 OF THE 2016 CBC.
- POST-INSTALLED CONCRETE ANCHORS: THE INSTALLATION OF ALL POST-INSTALLED EXPANSION AND EPOXY ANCHORS INTO CONCRETE SHALL REQUIRE SPECIAL INSPECTION IN ACCORDANCE WITH THEIR ASSOCIATED ICC-ES REPORT AND SECTION 1704.3 OF THE 2016 CBC.

SHT.	CONTENTS
A0	COVER SHEET & PROJECT SUMMARY
A01	GALGREEN MANDATORY MEASURES - SHEET 1 of 3
A02	GALGREEN MANDATORY MEASURES - SHEET 2 of 3
A03	GALGREEN MANDATORY MEASURES - SHEET 3 of 3
A10	SITE PLAN
A31	EXTERIOR ELEVATIONS
A41	BUILDING SECTIONS
S21	FOUNDATION PLAN
S22	FOUNDATION DETAILS
ATTACHMENTS	
STRUCTURAL CALCULATIONS - MANNING ENGINEERING	
METAL BUILDING DRAWINGS - BUTLER MANUFACTURING CO.	
STRUCTURAL DESIGN DATA - BUTLER MANUFACTURING CO.	
GEOTECHNICAL REPORT - APPLIED TESTING CONSULTANTS	

DRAWING INDEX



STORAGE BUILDING ADDITION for
CAPAY FARMS
7814 COUNTY ROAD 16
HAMILTON CITY, CA 95951
APN: 037-260-009-000

COVER SHEET &
PROJECT SUMMARY

Date: 10-xx-19
Drawn By: TWM
Checked By: BW
Job No.: 19-6750

A0

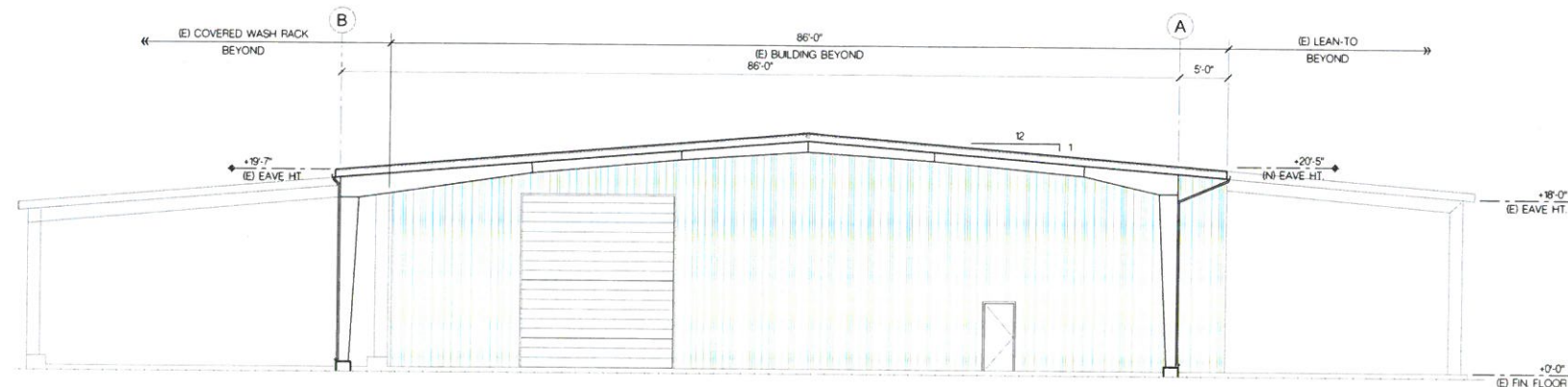


SIDE BUILDING ELEVATION

WEST ELEVATION

SCALE: 1/8" = 1'-0"

C

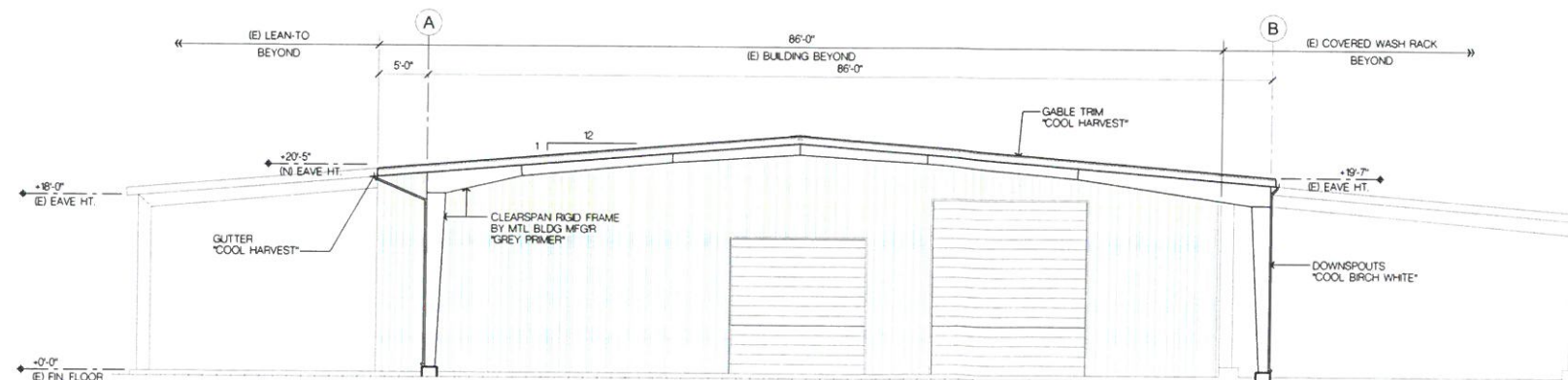


REAR BUILDING ELEVATION

NORTH ELEVATION

SCALE: 1/8" = 1'-0"

B



FRONT BUILDING ELEVATION

SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

A



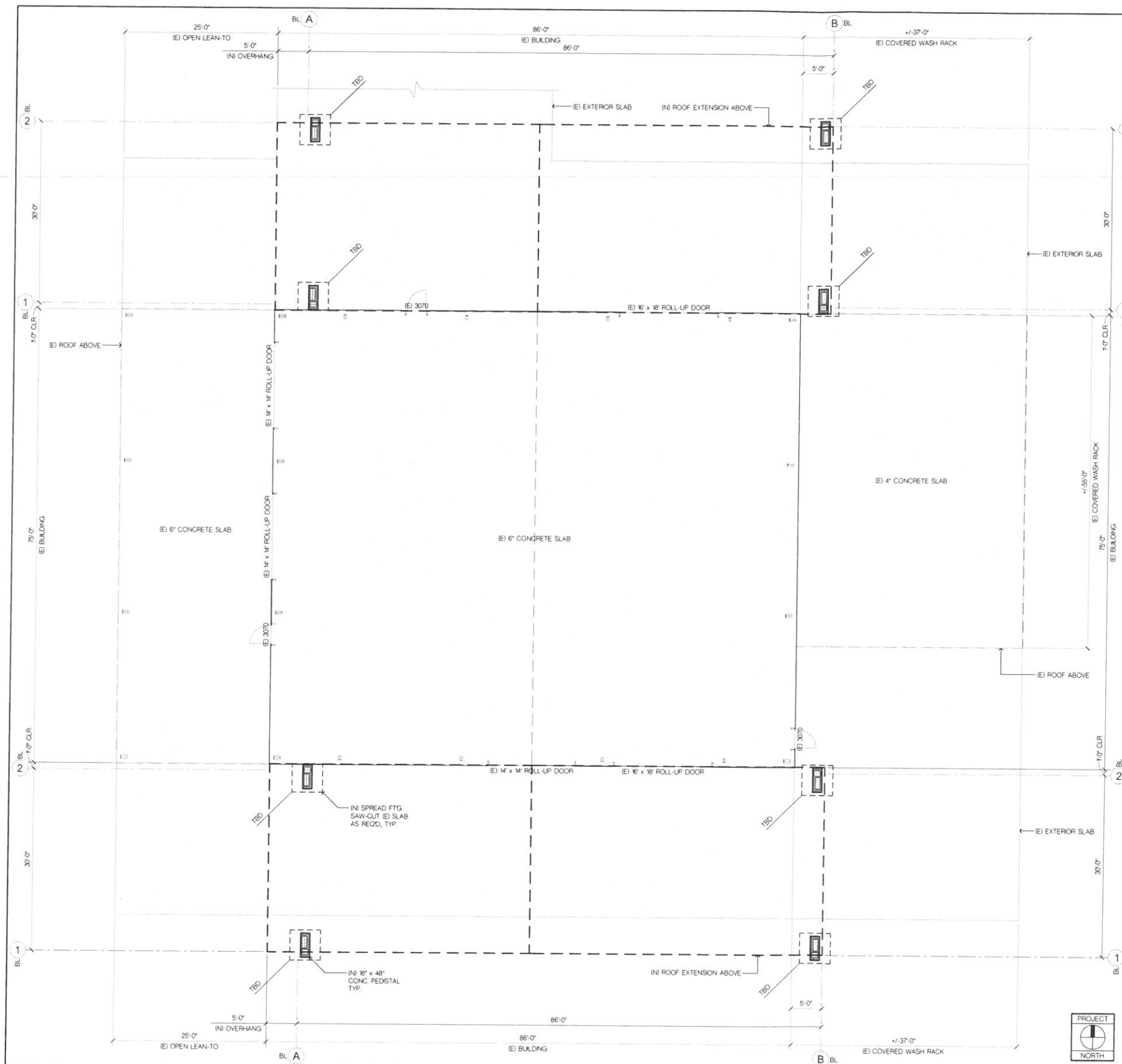
Revisions	Date
SITE PLAN REVIEW	10-15-19

STORAGE BUILDING ADDITION for
CAPAY FARMS
7814 COUNTY ROAD 16
HAMILTON CITY, CA 95951
APN: 037-260-009-000

EXTERIOR ELEVATIONS

Date:	10-xx-19
Drawn By:	TWM
Checked By:	BW
Job No.:	19-6750

A3.1



- 1 THE FOUNDATION DESIGN OF THIS BUILDING IS BASED ON FRAME COLUMN REACTIONS PROVIDED BY THE FOLLOWING METAL BUILDING MANUFACTURER:
BUTLER MANUFACTURING COMPANY
1540 GENNESSEE STREET
KANSAS CITY, MO 64102
JOB NO. 19-000001-00, DATED xx/xx/2019
- 2 THIS DRAWING REPRESENTS THE FOUNDATION DESIGN ONLY. SEE THE METAL BUILDING MFGRS ANCHOR BOLT SETTING PLAN FOR LOCATION OF COLUMNS AND ANCHOR BOLTS RELATIVE TO THE GRIDLINES SHOWN IN THIS PLAN.
- 3 FOUNDATION DESIGN PARAMETERS USED IN THE DESIGN OF THIS STRUCTURE IS BASED ON THE FOLLOWING CRITERIA OUTLINED IN THE GEOTECHNICAL REPORT:
ALLOWABLE SOIL BEARING PRESSURE (D & L ONLY) = 1500 psf
ALLOWABLE SOIL BEARING PRESSURE (W & E) = 2000 psf
COEFFICIENT OF FRICTION = 0.35
LATERAL BEARING = 250 psf/ft
- 4 THE BUILDING PAD IS TO BEAR ON A MINIMUM OF 12 INCHES OF COMPACTED, NATIVE SOIL OR APPROVED FILL. THE EXPOSED SUB-GRADES SHALL BE MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION. FILL MATERIAL IMPORTED FROM OFF-SITE SHALL BE TESTED AND APPROVED BY A GEOTECHNICAL ENGINEER.
- 5 ALL FOUNDATION EXCAVATIONS SHALL BE CLEAN AND LEVEL AND ARE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING OFFICIAL PRIOR TO PLACEMENT OF CONCRETE.
- 6 ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CURRENT ADDITION OF THE ACI MANUAL OF CONCRETE PRACTICE.
- 7 ALL CONCRETE MIXES SHALL UTILIZE TYPE I PORTLAND CEMENT CONFORMING TO ASTM C150. AGGREGATES SHALL CONFORM TO ASTM C33. MAXIMUM AGGREGATE SIZE FOR FOOTINGS AND MASS CONCRETE SHALL NOT EXCEED 1-1/2\"/>

(E) STORAGE BUILDING w/ (N) ROOF EXTENSIONS

FOUNDATION PLAN & NOTES

SCALE: 1/8" = 1'-0"

STORAGE BUILDING

FOUNDATION PLAN & NOTES

SCALE: 1/4" = 1'-0"

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE THE SOLE PROPERTY OF MANNING ENGINEERING. THEY WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONJUNCTION WITH THIS SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF MANNING ENGINEERING. COPYRIGHT 2019 MANNING ENGINEERING



Revisions	Date
SITE PLAN REVIEW	10-15-19

STORAGE BUILDING ADDITION for
CAPAY FARMS
7814 COUNTY ROAD 16
HAMILTON CITY, CA 95951
APN: 037-260-009-000

FOUNDATION PLAN

Date:	10-xx-19
Drawn By:	TWM
Checked By:	BW
Job No.:	19-6750

S2.1