

GLENN COUNTY

Planning & Community Development Services Agency

225 North Tehama Street
Willows, CA 95988
530.934.6540
www.countyofglenn.net



Mardy Thomas, Director

Michael Anthony
6329 County Road 7
Orland, CA 95963

Phone: (530) 774-4840
Email: dmadrigal11@gmail.com

RE: Site Plan Review 2023-007, Anthony
APN: 044-150-015

October 3, 2023

To Whom It May Concern,

On September 8, 2023, the Glenn County Planning & Community Development Services Agency received your application for a Site Plan Review. This project is located in the "AE-20" (General Agriculture) zoning district and is an allowed use with an approved Site Plan Review.

On October 3, 2023, the Glenn County Planning & Community Development Services Agency approved the Site Plan Review. Included with the Staff Report is a copy of the Compliance Requirements.

Please sign the Compliance Requirements as indicated and return by email, or send to the Glenn County Planning & Community Development Services Agency, at 225 N Tehama Street, Willows, CA 95988.

Please note that this is not a building permit. For information on acquiring a building permit, contact the Glenn County Building Inspection Division at (530) 934-6546.

Sincerely,

Courtney Paget
Assistant Planner
cpaget@countyofglenn.net

GLENN COUNTY Planning & Community Development Services Agency

225 North Tehama Street
Willows, CA 95988
530.934.6540
www.countyofglenn.net



Mardy Thomas, Director

STAFF REPORT

DATE: October 3, 2023

FROM: Courtney Paget, Assistant Planner

RE: **Site Plan Review 2023-007, Agriculture Storage Building**
"AE-20" Exclusive Agricultural Zone

Attachments:

1. Compliance Requirement(s)
2. Agency Comments
3. Request for Review
4. Application Materials
5. Site Plan

1 PROJECT SUMMARY

An application for an Agriculture Storage Building has been received. The exterior dimensions of the structure are 30 feet by 60 feet (1,800 square feet) with a peak height of 15 feet.

The project is located at 6329 County Road 7, north of County Road 9, west of Interstate 5, east of County Road FF, and south of County Road 7, in the unincorporated area of Glenn County, California.

The Assessor's Parcel Number (APN) for the 23.23± acre site is 044-150-015. The site is zoned "AE-20" Exclusive Agriculture (17-acre minimum parcel size) and is designated "General Agriculture" in the Glenn County General Plan.

1.1 RECOMMENDATIONS

Staff recommends that the Director find that this project qualifies as a statutory exemption within section 15268 of the California Environmental Quality Act.

Staff also recommends that the Director approve the Site Plan Review with the Findings as presented in the Staff Report and the Compliance Requirement as attached.

2 ANALYSES

The proposed project is consistent with the land use in this area. This area of Glenn County is agricultural and the proposed project is a permitted use with an approved Site Plan Review. A Site Plan Review is required prior to construction to ensure compliance with all the requirements of the Glenn County Code.

This proposal will not have significant additional accompanying traffic; the property is used for a residence and agriculture and the uses will not be altered with this proposal. Surrounding county roads are reasonably adequate to safely accommodate the proposed project (Finding 5).

2.1 ENVIRONMENTAL DETERMINATION

This project as proposed is not anticipated to introduce potentially significant impacts to the environment.

Site plan reviews are statutorily exempt pursuant to Section 15268, "Ministerial Projects", of the Guidelines of the California Environmental Quality Act (CEQA). Article 18 (Statutory Exemptions), §15268 (a) & (c) (Ministerial Projects).

Site plan reviews, outlined in Section 25.130 of the Glenn County Code, are deemed a ministerial project within Glenn County Title 15, Unified Development Code (Title 15, Division 2, Part 1).

2.2 GENERAL PLAN AND ZONING CONSISTENCY

The site is designated “General Agriculture” in the Glenn County General Plan and is zoned “AE-20” Exclusive Agriculture (17-acre, minimum parcel size). The site is in an area of existing agriculture, where storage structures are permitted use within the “AE-20” zone with an approved Site Plan Review (Glenn County Chapter 15.33.030.N) (Finding 1). The proposal will not adversely affect the surrounding uses in the area and will not adversely affect the General Plan (Finding 4).

2.2.1 “AE” EXCLUSIVE AGRICULTURAL ZONE (Glenn County Code Chapter 15.330):

Permitted Uses (Glenn County Code §15.33.030):

The proposed project is for a storage structure and is a permitted use under Glenn County Code §15.33.030. N.

Maximum Building Height (Glenn County Code §15.33.060):

The peak height of the proposed structure is 15 feet and will be less than the maximum height requirement for the Exclusive Agriculture Zone of 50 feet per §15.33.060. B.

Minimum Distance Between Structures (Glenn County Code §15.33.070):

The proposed storage structure and is located minimally 85 ft. from property lines; therefore, Glenn County Code §15.33.070. B. will be met.

Minimum Yard Requirements (Glenn County Code §15.33.080):

The proposed front, side, and rear yards exceed 30 feet; therefore, the minimum yard requirements for the Exclusive Agriculture Zone will be met.

2.3 GENERAL PROVISIONS

Flood Zone Designation:

The project site is located within Flood Zone “X.” The property is located in both Flood Zone “X” and Flood Zone “A.” Flood Zone “X” according to Flood Insurance Rate Map (FIRM) No. 06021C0165D, dated August 4, 2010 issued by the Federal Emergency Management Agency (FEMA). Flood Zone “X” is a flood zone area of minimal flood hazard, with a flood level above the 500-year flood, according to FIRMS. Additionally, “X” flood area is generally protected by levee from 100-year floods.

Flood Zone “A” according to Flood Insurance Rate Map (FIRM) No. 06021C0165D, dated August 4, 2010 issued by the Federal Emergency Management Agency (FEMA). Flood Zone “A” (unshaded) consists of areas subject to inundation by the 1-percent-annual-chance flood event generally determined using approximate methodologies. Because detailed hydraulic analyses have not been performed, no Base Flood elevations (BFEs) or flood depths are shown.

Code Violations:

There is no record of a violation on the property. No current violations on the property exist; therefore, the proposed building and Site Plan Review are compliant with Glenn County Code §15.13.050. F (Finding 6).

Glenn County Agricultural Commissioner

The Glenn County Agricultural Commissioner was provided the application information regarding the proposal and no comments were received.

Glenn County Air Pollution Control District/CUPA

The Glenn County Air Pollution Control District/CUPA was provided the application information regarding the proposal and no comments were received.

Glenn County Assessor

The Glenn County Assessor was provided the application information regarding the proposal and no comments were received.

Glenn County Building Inspector

The Glenn County Building Inspector was provided the application information regarding the proposal and no comments were received.

Public Works Agency:

The Glenn County Public Works Agency was provided the application information regarding the proposal and replied with no comment.

Environmental Health

The Glenn County Environmental Health Department was provided the application information regarding the proposal and recommended it be found complete for further processing. They also responded with the following:

Comment:

1. The parcel has a water well, onsite wastewater treatment system and replacement area for the existing residences.
2. The proposed Ag storage building not approved for any wastewater discharge. Any future proposed wastewater discharge shall be approved under permit by the Environmental Health Department (EHD).

Glenn County Sheriff's Department

The Glenn County Sheriff's Department was provided the application information regarding the proposal and no comments were received.

Pacific Gas and Electric Company

Pacific Gas and Electric Company (PG&E) was provided the application information regarding the proposal and replied with no comments or conditions, as per the attached response letter.

Fire Protection Regulations:

This project lies within the Orland Rural Fire Protection District. The fire district was provided the application information regarding the proposal and no comments were received.

3 NOTICES TO APPLICANT/AGENT

This site plan review is not a building permit. It is the applicant's responsibility to secure the necessary permits in all affected federal, state, and local agencies and submit copies of such permits to the Planning & Community Development Services Agency.

If upon approval of this site plan review any problem, nuisance, or health hazard arises from the operation allowed by this review, the director shall determine the need to revise or modify the use or require additional Compliance Requirements.

In addition to the staff report and Compliance Requirement(s), the applicant's and project management representative's attention is directed to any comments from agencies reviewing the application. The items noted are a guide to assist in meeting the requirements of applicable government codes. Comments may also note any unusual circumstances that require special attention. The items listed are a guide and not intended to be a comprehensive summary of all codified requirements or site-specific requirements.

3.1 PERMIT ISSUANCE AND APPEAL PERIOD (GLENN COUNTY CODE §15.13.060)

Site plan reviews shall be effective upon issuance, unless within ten (10) calendar days of a decision by the Director, the decision is appealed as provided for in Section 15.05.010. In the case of an appeal being filed, the site plan review permit shall not have any force or effect until a decision is made by the Approving Authority on such an appeal.

Additionally, site plan review permit approvals shall not be valid until the permittee has agreed in writing to each term and requirement thereof.

4 FINDINGS

As described and found in this report, and in accordance with Glenn County Code Section 15.13.050.

Finding 1:

The proposed use is a permitted and allowed use in the "AE-20" zoning district.

Finding 2:

The site for the project is adequate in size, shape, location, and physical characteristics to accommodate the proposed project.

Finding 3:

Based on agency review of the project, there are adequate public or private services, including but not limited to fire protection, water supply, sewage disposal, and storm drainage.

Finding 4:

The project is in conformance with the applicable provisions and policies of Title 15 of the Glenn County Code and the Glenn County General Plan.

Finding 5:

The county roads which serve the project are reasonably adequate to safely accommodate the proposed project.

Finding 6:

After searching county records, no violation of the Glenn County Code currently exists on the property.

COMPLIANCE REQUIREMENTS

Site Plan Review 2023-007, Anthony

Agriculture Storage Building

APN: 044-150-015

Compliance Requirement: Site Plan

1. That the area of operation shall be confined to those areas as shown on the site plan as submitted and on file at the Glenn County Planning & Community Development Services Agency.

Compliance Requirement: Environmental Health

2. The proposed Ag storage building is not approved for any wastewater discharge. Any future proposed wastewater discharge shall be approved under permit by the Environmental Health Department.

Acknowledgment:

I hereby declare that I have read the foregoing requirements that they are in fact the requirements that were imposed upon the granting of this permit, and that I agree to abide fully by said conditions. Additionally, I have read the staff report and I am aware of codified county, state, and/or federal standards and regulation that shall be met with the granting of this permit.

Signature: _____ Date: _____

Michael Anthony, Applicant/Landowner

Signature: _____ Date: _____

Kristine Anthony, Applicant/Landowner



September 25, 2023

Courtney Paget
County of Glenn
225 North Tehama St
Willows, CA 95988

Re: SPR2023-007
Anthony Agriculture Storage Building

Dear Courtney Paget,

Thank you for providing PG&E the opportunity to review the proposed plans for SPR2023-007 dated 9/20/2023. Our review indicates the proposed improvements do not appear to directly interfere with existing PG&E facilities or impact our easement rights.

Please note this is our preliminary review and PG&E reserves the right for additional future review as needed. This letter shall not in any way alter, modify, or terminate any provision of any existing easement rights. If there are subsequent modifications made to the design, we ask that you resubmit the plans to the email address listed below.

If the project requires PG&E gas or electrical service in the future, please continue to work with PG&E's Service Planning department: <https://www.pge.com/cco/>.

As a reminder, before any digging or excavation occurs, please contact Underground Service Alert (USA) by dialing 811 a minimum of 2 working days prior to commencing any work. This free and independent service will ensure that all existing underground utilities are identified and marked on-site.

If you have any questions regarding our response, please contact the PG&E Plan Review Team at pgeplanreview@pge.com.

Sincerely,

PG&E Plan Review Team
Land Management



PUBLIC WORKS AGENCY

P.O. Box 1070 / 777 N. Colusa Street
Willows, CA 95988

Airports
Engineering
Flood Control
Roads & Bridges
Solid Waste
Surveyor

Donald Rust, Director

September 28, 2023

Glenn County Planning and
Community Development Services
225 N. Tehama Street
Willows, CA 95988

Attn: Courtney Paget, Assistant Planner

Subject: Site Plan Review 2023-007 – Michael & Kristine Anthony

Comments

None

Conditions

None

Michael Biggs
Engineering Technician III
Glenn County Public Works

GLENN COUNTY

Planning & Community Development Services Agency Environmental Health Department

225 N Tehama St.
Willows, CA 95988
Tel: 530.934.6102 Fax: 530.934.6103
www.countyofglenn.net



Mardy Thomas, Director

Date: September 22, 2023

To: Courtney Paget, Assistant Planner
Planning & Community Development Services Agency (PCDSA)
(Via Email)

From: Kevin Backus, REHS
Director, PCDSA - Environmental Health Department

Re: Site Plan Review 2023-007, APN 044-150-015, Anthony (Ag Storage Building)

We have reviewed the application information for the project noted above and recommend it be found complete for further processing. We have the following comments/requirements:

1. The parcel has a water well, onsite wastewater treatment system and replacement area for the existing residences.
2. The proposed Ag storage building not approved for any wastewater discharge. Any future proposed wastewater discharge shall be approved under permit by the Environmental Health Department (EHD).

Please contact Environmental Health at 530-934-6102 with any questions on this matter.

GLENN COUNTY Planning & Community Development Services Agency

225 North Tehama Street
Willows, CA 95988
530.934.6540
www.countyofglenn.net



Mardy Thomas, Director

REQUEST FOR REVIEW

COUNTY DEPARTMENTS/DISTRICTS

- Glenn County Agricultural Commissioner
- Glenn County Air Pollution Control District/CUPA
- Glenn County Assessor
- Glenn County Building Inspector
- Glenn County Engineering & Surveying Division
- Glenn County Environmental Health Department
- Glenn County Sheriff's Department
- Glenn County Board of Supervisors
- Glenn County Counsel
- Glenn County Planning Commission
- Glenn LAFCO

FEDERAL AGENCIES

- U.S. Army Corps of Engineers
- U.S. Fish and Wildlife Service
- U.S. Department of Agriculture
- U.S. Bureau of Reclamation – Willows

OTHER

- Western Area Power Administration
- Sacramento River National Wildlife Refuge
- City of:
- Community Services District:
- Pacific Gas and Electric Company (PG&E)
- Fire Protection District: Orland Rural
- Glenn County Resource Conservation District
- School District:

STATE AGENCIES

- Central Valley Flood Protection Board
- Central Valley Regional Water Quality Control Board (RWQCB)
- State Water Resources Control Board – Division of Drinking Water
- Department of Alcoholic Beverage Control (ABC)
- Department of Conservation, Division of Land Resource Protection
- Department of Conservation, Office of Mine Reclamation (OMR)
- Dept. of Conservation, Division of Oil, Gas, and Geothermal Resources
- Department of Fish and Wildlife
- Department of Food and Agriculture
- Department of Forestry and Fire Protection (Cal Fire)
- Department of Housing and Community Development (HCD)
- Department of Public Health
- Department of Toxic Substances Control (DTSC)
- Department of Transportation (Caltrans)
- Department of Water Resources (DWR)
- Office of the State Fire Marshall
- CalRecycle

- NE Center of the CA Historical Resources Information System
- Railroad:
- Reclamation District:
- Water/Irrigation District:
- Special District:
- Tehama-Colusa Canal Authority
- UC Cooperative Extension Office

DATE: September 20, 2023

PROPOSAL: Site Plan Review 2023-007, Anthony, Agriculture Storage Building

PLANNER: Courtney Paget, Assistant Planner
cpaget@countyofglenn.net

APPLICANT/
LANDOWNER: Michael and Kristine Anthony
6329 County Road 7 Orland, CA, 95963
(530) 774-4840
Dmadrigal11@gmail.com

PROPOSAL: Site Plan Review 2023-007, Agriculture Storage Building

An application for an agriculture storage building has been received. The exterior dimensions of the structure are 30 ft. by 60 ft. with a peak height of 15 ft. and an overall square footage of 1,800 square feet.

LOCATION: The project is located at 6329 County Road 7, north of County Road 9, west of Interstate 5, east of County Road FF, and south of County Road 7, in the unincorporated area of Glenn County, California.

APN: 044-150-015; (23.23± Acres)

ZONING: "AE-20" (17-acre, minimum parcel size)

GENERAL PLAN: "General Agriculture"

FLOOD ZONE: The project site is located within Flood Zone "X." The property is located in both Flood Zone "X" and Flood Zone "A." Flood Zone "X" according to Flood Insurance Rate Map (FIRM) No. 06021C0165D, dated August 4, 2010 issued by the Federal Emergency Management Agency (FEMA). Flood Zone "X" is a flood zone area of minimal flood hazard, with a flood level above the 500-year flood, according to FIRMS. Additionally, "X" flood area is generally protected by levee from 100-year floods. Flood Zone "A" according to Flood Insurance Rate Map (FIRM) No. 06021C0165D, dated August 4, 2010 issued by the Federal Emergency Management Agency (FEMA). Flood Zone "A" (unshaded) consists of areas subject to inundation by the 1-percent-annual-chance flood event generally determined using approximate methodologies. Because detailed hydraulic analyses have not been performed, no Base Flood elevations (BFEs) or flood depths are shown.

The Glenn County Planning Division is requesting comments on this proposal for determination of completeness, potential constraints, and/or proposed Compliance Requirement. If comments are not received by **Thursday, SEPTEMBER 28, 2023**, it is assumed that there are no specific comments to be included in the analysis of the project. Comments submitted by e-mail are acceptable. Thank you for considering this matter.

AGENCY COMMENTS:

Please consider the following:

1. Is the information in the application complete enough to analyze impacts and conclude review?
2. Comments may include project-specific code requirements unique to the project. Cite code section and document (i.e., General Plan, Subdivision Map Act, etc.).
3. What are the recommended Compliance Requirements for this project and justification for each Requirement? When should each Compliance Requirement be accomplished (i.e., prior to any construction at the site, prior to recording the parcel map, filing the Final Map, or issuance of a Certificate of Occupancy, etc.)?

Date Submitted: _____

**GLENN COUNTY
PLANNING AND COMMUNITY
DEVELOPMENT SERVICES AGENCY**
225 North Tehama Street
Willows, CA 95988
(530) 934-6540
planning@countyofglenn.net

APPLICATION FOR SITE PLAN REVIEW

NOTE: FAILURE TO ANSWER APPLICABLE QUESTIONS AND REQUIRED ATTACHMENTS COULD DELAY THE PROCESSING OF YOUR APPLICATION.

1. Applicant(s):

Name: MICHAEL ANTHONY, KRISTINE ANTHONY

Address: 6329 COUNTY ROAD 7

Phone: 530-774-4840 E-Mail dmadrigan11@gmail.com

2. Property Owner(s):

Name: MICHAEL ANTHONY, KRISTINE ANTHONY

Address: 6329 COUNTY RD 7

Phone: 530-774-4840 E-Mail dmadrigan11@gmail.com

3. Engineer/Person who Prepared Site Plan (if applicable):

Name: _____

Address: _____

Phone: _____ E-Mail _____

4. Name and address of property owner's duly authorized agent (if applicable) who is to be furnished with notice of hearing (§65091 California Government Code).

Name: _____

Mailing Address: _____

5. Existing Use of Property: RESIDENTIAL
6. Request or Proposal:
METAL 30'X60' METAL SHOP FOR
STORAGE OF PERSONAL BELONGINGS. THIS
IS NOT A COMMERCIAL BUILDING
7. Address and Location of Project: 6325 COUNTY ROAD 7, ORLANDO
8. Current Assessor's Parcel Number(s): 044-150-015-000
9. Existing Zoning (<http://gis.gcppwa.net/zoning/>): AGRICULTURE
10. Provide any additional information that may be helpful in evaluating your proposal. Example - number of employees, hours of operation, number of truck deliveries/loadings per day:

11. Setback Dimensions (Distance from property line to proposed structure):
North: 85 ft. South: 655 ft.
East: 780 ft. West: 580 ft.
Other Setback/s: 0 ft.
12. Provide the following information:
Size of Assessor Parcel: _____ sq.ft. 26 acres
Mean height of structure: 12 ft. Peak height of structure: 15 ft.
Dimensions of proposed including overhangs: 0 ft. x _____ ft.
Total Square Footage (Existing): _____ sq.ft.
Total Square Footage (Proposed): 1800 sq.ft.

DECLARATION UNDER PENALTY OF PERJURY

(Must be signed by Applicant(s) and Property Owner(s))

(Additional sheets may be necessary)

The Applicant(s) and/or Property Owner(s), by signing this application, shall be deemed to have agreed to defend, indemnify, release and hold harmless the County, its agents, officers, attorneys, employees, boards and commissions from any claim, action or proceeding brought against the foregoing individuals or entities, the purpose of which is to attack, set aside, void or null the approval of this development entitlement or approval or certification of the environmental document which accompanies it, or to obtain damages relating to such action(s). This indemnification agreement shall include, but not be limited to, damages, costs expenses, attorney fees or expert witness fees that may be asserted by any person or entity, including the applicant, arising out of or in connection with the approval of the entitlement whether or not there is concurrent passive or active negligence on the part of the County.

* Applicant(s):

Signed: Michael Anthony

Print: Michael Anthony

Date: 09-08-2023

Address: 6329 County Rd 7 ORLAND CA 95963

I am (We are) the owner(s) of property involved in this application and I (We) have completed this application and all other documents required.

I am (We are) the owner(s) of the property involved in this application and I (We) acknowledge the preparation and submission of this application.

I (We) declare under penalty of perjury that the foregoing is true and correct.

* Property Owner(s):

Signed: Michael Anthony + Kristine G. Anthony

Print: Michael Anthony + Kristine G. Anthony

Date: 09-08-2023

Address: 6329 County Rd 7 ORLAND CA 95963

CLOS ENCLOSED

2017-1891

Prepared By:
Timios Title, A California Corporation
134 E. Walker St.
Orland, CA 95963
No: 133449

Recorded at the request of:
TIMIOS TITLE COMPANY
05/04/2017 03:10 PM
Fee: \$23.00 Pgs: 4
OFFICIAL RECORDS
Charles M. Meriam, Clerk-Recorder
Glenn County, CA

After Recording Return And
Mail Tax Statements To:
MICHAEL ANTHONY
KRISTINE ANTHONY

SPACE ABOVE THIS LINE FOR RECORDER'S USE A.P.N. NO. STATED BELOW

GRANT DEED

The undersigned grantor(s) declare(s):

City transfer tax is \$

County Transfer Tax is \$0.00 RT CODE 11911

Monument preservation fee is \$

(X) computed on full value of property conveyed, or

() computed on full value less value of liens and encumbrances remaining at time of sale.

(X) Unincorporated area: () City of ORLAND, and

FOR VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,
DAVID B. ANTHONY, TRUSTEE OF THE ANTHONY FAMILY TRUST DATED APRIL 21, 2009
hereby GRANTS to

MICHAEL ANTHONY AND KRISTINE ANTHONY, HUSBAND AND WIFE AS JOINT TENANTS

the following described real property in the unincorporated area, County of GLENN, State of California:

SEE EXHIBIT 'A' ATTACHED HERETO AND MADE A PART HEREOF

More commonly known as: Multiple Parcels in Orland, Orland California 95963



5/1/2017

THE ANTHONY FAMILY TRUST DATED APRIL 21, 2009

David B Anthony
DAVID B ANTHONY, trustee

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of CALIFORNIA
County of GLENN

On May 2ND, 20 17, before me, Olga Valoroso, a notary public, personally appeared DAVID B ANTHONY who proved to me on the basis of satisfactory evidence to be the person(~~s~~) whose name(~~s~~) is/~~are~~ subscribed to the within instrument and acknowledged to me that he/~~she~~/~~they~~ executed the same in his/~~her~~/~~their~~ authorized capacity(~~ies~~), and that by his/~~her~~/~~their~~ signature(~~s~~) on the instrument the person(~~s~~), or the entity upon behalf of which the person(~~s~~) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Olga Valoroso
Signature of Notary Public



(Notary Seal)



EXHIBIT "A"

LEGAL DESCRIPTION

PARCEL ONE:

PARCELS 1 AND 2 AS THE SAME ARE SHOWN ON PARCEL MAP NO. 2007-02, FILED FOR RECORD IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF GLENN, STATE OF CALIFORNIA, ON SEPTEMBER 29, 2008 IN BOOK 13 OF PARCEL MAPS AT PAGE 53.

EXCEPTING THEREFROM ALL OIL, GAS AND MINERALS AND OTHER HYDROCARBON SUBSTANCES AS RESERVED IN THE DEED FROM BANK OF AMERICA NATIONAL TRUST AND SAVINGS ASSOCIATION TO WM. T. J. OWENS, ETUX, DATED APRIL 7, 1942 AND RECORDED MAY 6, 1942 IN BOOK 149 OF OFFICIAL RECORDS AT PAGE 113.

APNS: 044-150-015-9 AND 044-150-016-9

PARCEL TWO:

BEING THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND THE WEST HALF OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 8, TOWNSHIP 22 NORTH, RANGE 3 WEST, M.D.M. AND THE SOUTH ONE-HALF OF LOT 16 AS SAID LOT IS SHOWN ON THAT CERTAIN MAP ENTITLED "MAP OF CALUMET TRACT" AND ON FILE AT THE OFFICE OF THE RECORDER OF SAID COUNTY OF GLENN IN BOOK 1 OF MAPS AND SURVEYS AT PAGE 69.

EXCEPTING THEREFROM FOR THEIR JOINT LIVES, A LIFE ESTATE IN AND TO ALL OIL, GAS, MINERALS AND OTHER HYDROCARBON ON SUBSTANCES LYING BELOW A DEPTH OF 500 FEET FROM THE SURFACE THEREOF, WITHOUT HOWEVER, THE RIGHT TO ENTER UPON SAID SURFACE FOR THE PURPOSE OF EXTRACTING THE SAME, AS RESERVED BY LOUISE J. RISLEY AND FLORA E. KEEN, IN THAT DEED RECORDED DECEMBER 27, 1990 AS GLENN COUNTY RECORDER'S INSTRUMENT NO. 90-6464.

NOTICE OF VOLUNTARY MERGER RECORDED AUGUST 20, 2004 AS GLENN COUNTY RECORDER'S INSTRUMENT NO. 2004-5301.

APN: 044-150-001-9; 044-150-002-9 & 044-090-019-9

PARCEL TWO A:

TOGETHER WITH AN EASEMENT FOR ROAD PURPOSES AND FOR PUBLIC UTILITY PURPOSES OVER A STRIP OF LAND 50.00 FEET IN WIDTH IN LOT 102, AS SAID LOT IS SHOWN ON THE MAP OF "ORLAND LAND COMPANY, MURDOCK SUBDIVISION", FILED IN THE OFFICE OF THE RECORDER OF SAID GLENN COUNTY, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 102; THENCE ALONG THE NORTH LINE OF SAID LOT, SOUTH 89° 58' WEST, 1131.60 FEET; THENCE SOUTH 39° 13' WEST, 447.49 FEET TO THE CENTERLINE OF AN EXISTING ROAD EASEMENT; THENCE ALONG SAID CENTERLINE, SOUTH 36° 13' EAST, 51.62 FEET; THENCE NORTH 39° 13' EAST, 436.61 FEET TO A POINT 50.00 FEET SOUTH OF THE NORTH LINE OF SAID LOT 102; THENCE PARALLEL WITH THE NORTH LINE, NORTH 89° 58' EAST, 1108.46 FEET TO THE EAST LINE OF SAID LOT; THENCE ALONG SAID EAST LINE, NORTH 0° 42' WEST, 50.00 FEET TO THE POINT OF BEGINNING.



PARCEL THREE:

THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 22 NORTH, RANGE 3 WEST, M.D.B.&M.

EXCEPTING THEREFROM ALL OIL, GAS AND MINERALS AND OTHER HYDROCARBON SUBSTANCES AS RESERVED IN THE DEED FROM BANK OF AMERICA NATIONAL TRUST AND SAVINGS ASSOCIATION TO WM. T. J. OWENS, ETUX, DATED APRIL 7, 1942 AND RECORDED MAY 6, 1942 IN BOOK 149 OF OFFICIAL RECORDS AT PAGE 113.

APN: 044-080-013-9





AUSMUS ENGINEERING

Civil Engineering and Design
3115 Johnny Ln, Chico, CA 95973
Ph: (530) 521-2648
eric@ausmusengineering.com

FOUNDATION & SOIL INVESTIGATION REPORT

July 31, 2023

Property Owner:
Michael Anthony
6239 County Road 7
Orland, CA 95963

Project Site:
6325 County Road 7
Orland, CA 95963





AUSMUS ENGINEERING

Civil Engineering and Design
3115 Johnny Ln, Chico, CA 95973
Ph: (530) 521-2648
eric@ausmusengineering.com

Purpose

The purpose of this study is to explore and evaluate the surface and subsurface soil conditions at the site and to develop information regarding the feasibility of this specific project. A seismic analysis will also be performed whose minimum values will be used by the structural designer.

Scope

1. Review of geologic and topographic data available to Ausmus Engineering at the time of the study
2. Field study consisting of a visual site reconnaissance, followed by an exploratory test pit to characterize the subsurface conditions
3. Comparison of visual site characteristics with the soil properties given by the United States Department of Agriculture, Natural Resource Conservation Service database
4. Site analysis for potential hazards including, flooding, liquefaction, landslides, high water table and expansive soils
5. Preparation of this report summarizing the findings and conclusions.

Important Notes

Always notify Ausmus Engineering whenever the scope of the project has changed in order to request an assessment of its impact. Ausmus Engineering cannot accept responsibility or liability for problems that occur due to changes in scope.

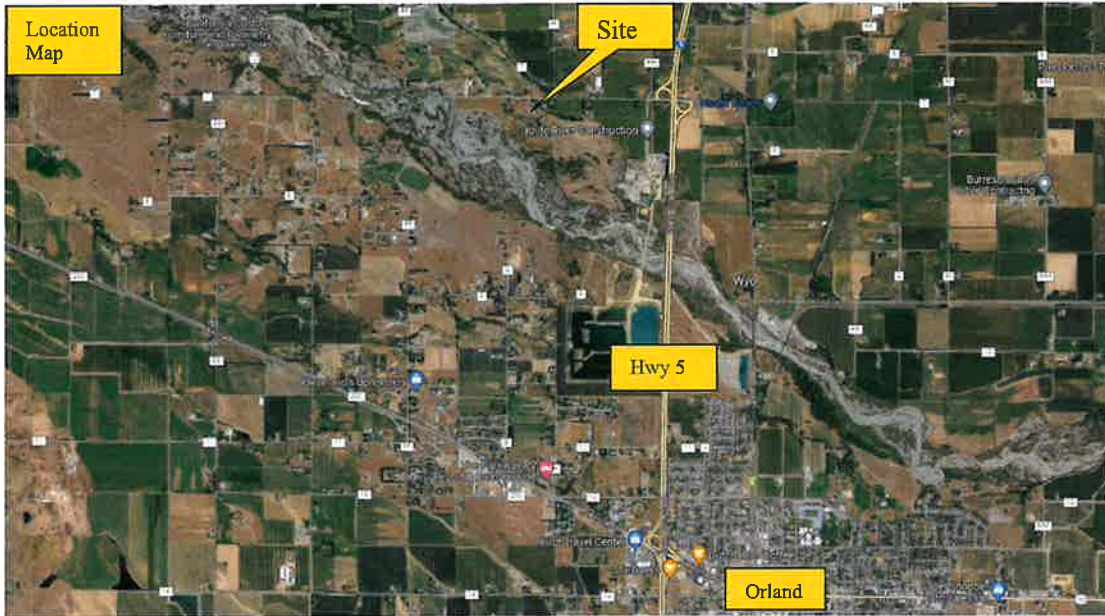
The findings of this report are valid as of the date this report was created. Changes in the conditions of a property can occur over the passage of time, typically from the works and also from natural processes. Changes to the site outside of the control of Ausmus Engineering may cause the findings in this report to become invalid, wholly or partially. Therefore, this report should not be relied on after a period of three years without our review.





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Introduction

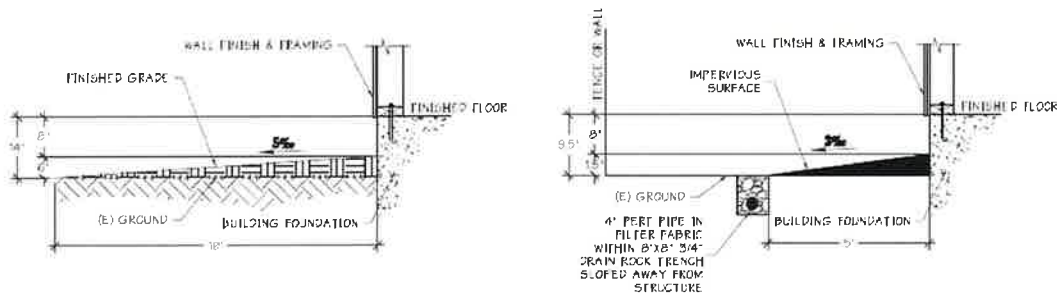
Based on a site visit on July 20, 2023, the project will consist of a new timber-framed shop with metal siding and roofing. The foundation will be constructed using a reinforced concrete slab on grade foundation with a perimeter footing. The use of the proposed structure will be for storage.

Topography

The proposed structure will be located in the northern California valley, and 1 miles to the north of the City of Orland. The site is surrounded by agricultural fields. The area has been flagged by the County as having potential expansive clays.

Local Drainage

The structure will be constructed to drain the surface runoff away from the project site. According to FEMA's web map the site is located in zone 06021C0165D and is in flood zone A, which is in a special flood hazard area, having a 1% annual chance of flooding and a 26% chance of flooding over the life of a 30-year mortgage. Grading at the structure will follow figure G/A1 below.



G GRADING AT STRUCTURES
A1 PLAN 1/4"=1'



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Soil Properties from USDA Web Soil Survey:

Liquid Limit: 25

Plastic Index: 2.5

AASHTO Classification: Czk-Cortina gravelly fine sandy loam rating: A-2

Linear Extensibility: 1.5

Soil Expansion Potential

The soil's expansion potential is typically measured by Linear Extensibility which is an expression of the volume difference of natural soil fabric at 1/3-bar or 1/10-bar water content and oven dryness. The volume change is reported as percent change for the whole soil. Linear extensibility is used to determine the shrink-swell potential of soils. The shrink-swell potential is low if the soil has a linear extensibility of less than 3 percent; moderate if 3 to 6 percent; high if 6 to 9 percent; and very high if more than 9 percent. If the linear extensibility is more than 3, shrinking and swelling can cause damage to buildings, roads, and other structures and to plant roots.

The soil encountered during the site visit and investigation is considered to have low shrink-swell potential since the linear extensibility falls below 3 percent.

Excavation, Grading and Fill

Because this site has been identified as having low expansive soils, management of water adjacent to the building is not extremely critical, but is still important.



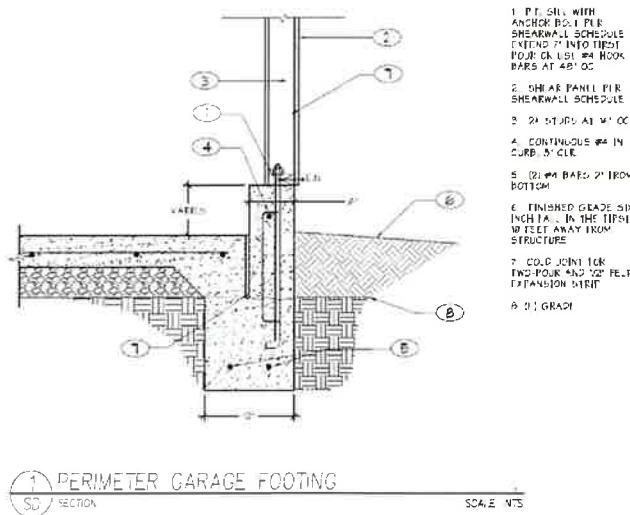
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Remove the top 4" of soil. Excavation for the perimeter footing shall extend a minimum of 12" below undisturbed ground. The site shall be graded away from the building according to detail G/A1 at a slope of not less than 5% for a minimum distance of 10 feet from a distance measured perpendicular from the wall or edge of slab. If 10' cannot be achieved, 5' minimum shall be maintained with the incorporation of a swale diverting flows away from the structure at a minimum 2% grade.

Foundation Footing Design

No fill dirt shall be used in depths of 12" or greater without obtaining a compaction test provided by a licensed professional. Provided minimum (2) #4 bars evenly spaced 3" from bottom of footing as shown on detail 1/SD.



Slab Design

According to the California residential code, all slabs used for the parking of vehicles shall be sloped for the purpose of conveying liquids. Concrete slab foundation will be used during construction with perimeter concrete footings, as shown in detail 2/SD. Even though the garage space is unconditioned, the vapor barrier will still be necessary to prevent moisture-loss under the slab exacerbating the extremes of the shrink-swell cycle. The concrete mix, reinforcing, joint locations, moisture protection and underlayment are under the purview of the structural designer and will be shown on the approved foundation plan and details. Commercial vehicles may be expected on a portion of the slab. A minimum slab thickness of 4" shall be maintained with troweled or wet-sawn crack control joints spaced at 10' in each direction. Half-inch (1/2") Felt shall be used around the perimeter of the slab and expansion joints shall be spaced every 3 joints



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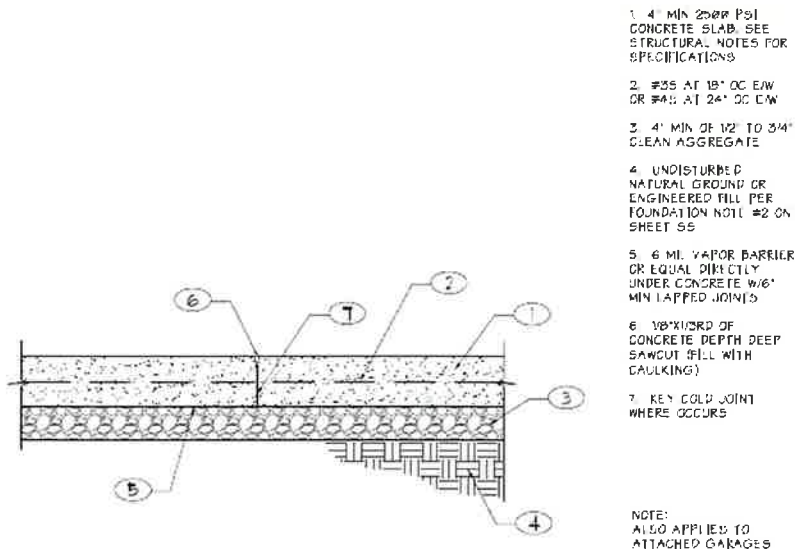
when floating slabs need to be separated from foundations. A 4" slab may be used at non-vehicle locations.

Moisture protection shall be provided by the incorporation of a 6 mil (minimum) vapor barrier and constructed in the manner depicted in detail 2/SD.

Please note that moisture protection does not construe waterproofing. If water proofing design is required, an expert should be consulted with. The 1" moist sand underlayment may be omitted if the concrete is sprayed with a curing compound.

All concrete should be expected to crack. Therefore, the minimums prescribed here should not be a stand-alone design to address crack control and should be used as a supplemental to the design methodology.

The reinforcing shall be as directed by the structural designer. Deformed #3 reinforcing bars spaced a maximum of 18" on center or #4 bars at 24" on center in each direction placed in the center of the slab section will provide the most beneficial design to resist slab cracking. The use of 6"x6"-10/10 welded wire fabric can also be effective if installed correctly, according to the manufacturer's recommendations. However, engineering experience has always deemed the use of deformed bars as a superior alternative.



2 SLAB ON GRADE (UNCONDITIONED SPACE)
SD SECTION SCALE: NTS



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Exterior Flatwork

Exterior concrete flatwork need not be underlain by rock but shall be separated from structure foundations by a felt expansion strips and vapor barrier.

Seismicity

Glenn County is located in a seismic hazard zone as identified by the Seismic Hazards Mapping Program of the California Geological Survey, since the entire County is subject to earthquakes of Modified Mercalli Intensity scale VIII. The potential for this site to experience mild to moderate shaking in the future can be expected.

Liquefaction

Liquefaction, which may occur under strong ground shaking during earthquakes, is the transformation of granular sediment or fill material from a solid state to a temporarily liquid state. Areas paralleling the Sacramento River that contain clean sand layers with low relative densities are estimated to have generally high liquefaction potential. Clean layers of granular materials older than Holocene are of higher relative densities and are thus of low liquefaction potential. Due to this site's soil type, there is low potential for liquefaction.

Allowable Bearing Values

Allowable soil bearing pressures shall conform to section 1804 of the California Building Code. The allowable foundation pressure shall not exceed 1,500 psf and may be increased by 1/3 when using load combinations that include wind and seismic. Lateral sliding resistance shall not exceed 130 psf except may be increased by 100 psf for each additional foot of depth to a maximum of 1500 psf.

Recommendations

Based upon the results of the field explorations and analysis, it is Ausmus Engineering's opinion that construction of the proposed project is feasible. The contractor/builder shall conform to all minimum requirements stated in this report as well as the engineered plans and all relevant provisions from the California Building Code, and all local, state, and federal codes and regulations.

Summary

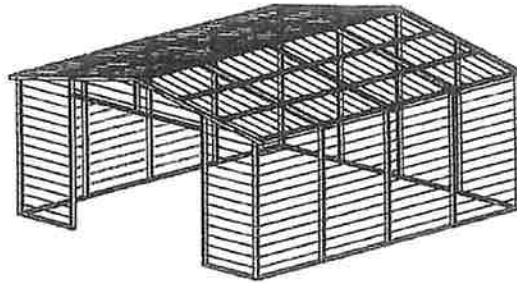
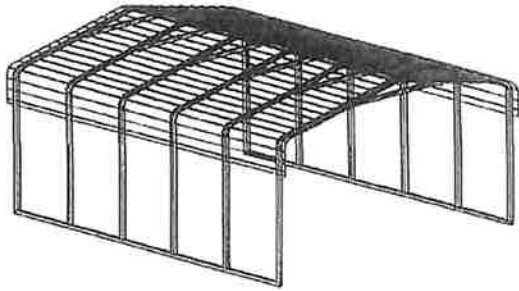
Hazard Description:	Potential
Water table	>78"
Expansive soil	Low
Liquefaction:	Low
Landslide	No Potential
Flood Hazard	High
Expected Differential Settlement	Total <2" with 1" differential depending on drainage
Allowable Soil Pressure	1500 w/ 1/3 increase w/ load combos



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APPENDIX



REGULAR / A-FRAME 30'-0" WIDE CARPORT STYLE BUILDINGS

DESIGN NOTES

- ALL CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH IBC 2021, OSHA, AISC 360, AISI 100, ASCE 7-16, AWS D1.3 CODES AND ALL APPLICABLE LOCAL REQUIREMENTS.
- ALL MATERIALS IDENTIFIED BY MANUFACTURER NAME MAY BE SUBSTITUTED WITH MATERIAL EQUAL OR EXCEEDING ORIGINAL.
- ALL SHOP CONNECTIONS SHALL BE WELDED CONNECTIONS.
- ALL STRUCTURAL FIELD CONNECTIONS SHALL BE #12-14 X 3/4" SD5 (ESR-2196 OR EQ) WITHOUT WASHERS.
- STEEL SHEATHING SHALL BE 29GA CORRUGATED GALV. OR PAINTED STEEL - MAIN RIB HT. 3/4" (FY=80KSI) OR EQ. CONNECTIONS SHALL BE #12-14 X 3/4" SD5 (ESR-2196 OR EQ) WITH NEOPRENE WASHERS.
- ALL STRUCTURAL LIGHT GAUGE TUBING AND CHANNELS SHALL BE GRADE 50 STEEL (FY = 50 KSI, FU = 65 KSI).
- STRUCTURAL TUBE 2 1/2" X 2 1/2" - 14GA IS EQUIVALENT TO TS 2 1/2" X 2 1/4" - 12GA AND EITHER ONE MAY BE USED IN LIEU OF THE OTHER.
- GYPSUM BOARD OR DRYWALL FINISH OR ANY BRITTLE BASE MATERIAL IS NOT ACCOUNTED FOR IN THE DESIGN CRITERIA.
- ALL DESIGN CRITERIA MUST BE INCREASED TO THE NEXT HIGHER INCREMENT BASED ON THE TABLES ON PAGE 4. NO INTERPOLATION IS ALLOWED.

DESIGN CRITERIA

- PREVAILING CODE: CBC 2022 (IBC 2021)
 USE GROUP: U (CARPORTS, BARNES)
 RISK CATEGORY: I
- ROOF DEAD LOAD (D) $D = 4$ PSF
 - ROOF LIVE/SNOW LOAD (Lr) $Lr = 20 - 61$ PSF (AS PER SNOW LOAD SEE TABLE 4)
 - SNOW LOAD (S)
 GROUND SNOW LOAD IMPORTANCE FACTOR $P_g = 20 - 90$ PSF
 THERMAL FACTOR $I_s = 0.8$
 EXPOSURE FACTOR $C_e = 1.0$
 ROOF SLOPE FACTOR $C_s = 1.0$
 - WIND LOAD (W)
 BASIC WIND SPEED $V_{ULT} = 105 - 180$ MPH
 EXPOSURE C
 - SEISMIC LOAD (E)
 DESIGN CATEGORY D
 IMPORTANCE FACTOR $I_e = 1.00$

LOAD COMBINATIONS:

- $D + (Lr \text{ OR } S)$
- $D + (0.6W \text{ OR } \pm 0.7E)$
- $D + 0.75 (0.6W \text{ OR } \pm 0.7E) + 0.75 (Lr \text{ OR } S)$
- $0.6D + (0.6W \text{ OR } \pm 0.7E)$

DRAWING INDEX

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OPTIONAL LEAN-TO ADDITION	----	10
FOUNDATION OPTIONS	---	11-A TO 11-D

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DRAWING INFORMATION

PROJECT: 30'-0" WIDE BUILDINGS

LOCATION: STATE OF CALIFORNIA

PROJECT NO.: 233-23-0049

SHEET TITLE:

COVER SHEET

SHEET NO.: 1 / 11

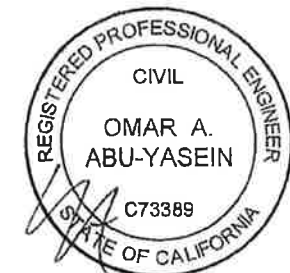
DRAWN BY: A.W. DATE: 2/2/22

CHECKED BY: OAA DATE: 2/2/22

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 - DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE.

SEAL:



CUSTOMER INFORMATION	DESIGN LOADS	BUILDING INFORMATION	CERTIFICATION VALIDITY NOTICE
OWNER: _____ ADDRESS: _____	GROUND SNOW: _____ ROOF LIVE LOAD: _____ BASIC WIND SPEED: _____	WIDTH: _____ LENGTH: _____ HEIGHT: _____	DATE OF PLANS EXPIRATION: 01-13-2024 CERTIFICATION ON THESE DRAWINGS IS VALID FOR ONE YEAR FROM DATE OF ISSUE
		FRAME TYPE: <input type="checkbox"/> A-FRAME <input type="checkbox"/> REGULAR ENCLOSURE TYPE: <input type="checkbox"/> FULL <input type="checkbox"/> PARTIAL <input type="checkbox"/> OPEN	STAMP EXPIRY: 12-31-2024 DATE SIGNED: 01-13-2023

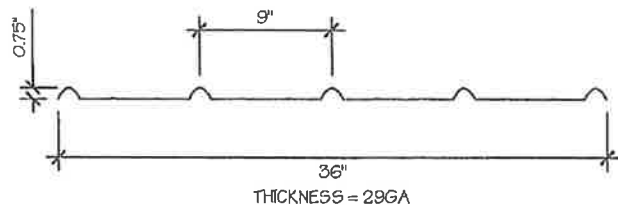
TABLE 2.1: MEMBER PROPERTIES

NO.	LABEL	PROPERTY	DETAIL NO.
1	COLUMN POST	2.5" X 2.5" X 14GA TUBE W/ 2.25" X 2.25" X 12GA TUBE INSERT	11
2	ROOF BEAM	2.5" X 2.5" X 14GA TUBE	1
3	BASE RAIL	2.5" X 2.5" X 14GA TUBE	1
4	PEAK BRACE	2.5" X 2.5" X 14GA TUBE	1
5	KNEE BRACES	2.5" X 1.5" 14GA CHANNEL	4
6	CONNECTOR SLEEVE	2.25" X 2.25" X 12GA TUBE	2
7	BASE ANGLE	2" X 2" X 3" LG. 3/16" ANGLE	10
8	PURLIN	4.25" X 1.5" X 18GA / 14GA HAT CHANNEL	5
9	GIRT	4.25" X 1.5" X 18GA / 14GA HAT CHANNEL	5
10	SHEATHING	29 GA CORRUGATED SHEET	8
11	END WALL POST	2.5" X 2.5" X 14GA TUBE	1
12	DOOR POST	2.5" X 2.5" X 14GA TUBE	1
13	SINGLE HEADER	2.5" X 2.5" X 14GA TUBE	1
14	DOUBLE HEADER	DBL. 2.5" X 2.5" X 14GA TUBE	1
15	SERVICE DOOR / WINDOW FRAMING	2.5" X 2.5" X 14GA TUBE	1
16	ANGLE BRACKET	2" X 2" X 2" LG. 14GA ANGLE	7
17	STRAIGHT BRACKET	2" X 2" X 4" LG. 14GA PLATE	6
18	PB SUPPORT	2.5" X 2.5" X 14GA TUBE	1
19	DIAGONAL BRACE	2" X 2" X 14 GA TUBE	3
20	GABLE BRACE	2" X 2" X 14 GA TUBE	3
21	DB BRACKET	2.25" X 2.25 X 6" X 14GA ANGLE	9
22	TRUSS SPACER	2.5" X 2.5" X 14GA TUBE	1
23	ALL FASTENERS	#12 X 1" SELF-DRILL SCREWS (ESR-2196 OR EQ) W/ NEOPRENE/STEEL WASHER	

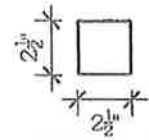
TABLE 2.2: SHEATHING FASTENER SCHEDULE

LOCATION	CORNER PANELS	SIDE LAPS	EDGE LAPS	ELSEWHERE
SPACING	9' C/C	MIN. 1	4 1/2' C/C	9' C/C

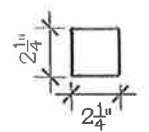
FASTENER TYPE: #12X1" SELF-DRILL SCREWS (ESR-2196 OR EQ) W/ NEOPRENE/STEEL WASHER
 *SEE TYP. SHEATHING FASTENER SCHEDULE DIAGRAM ON PAGE 6.



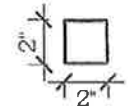
29 GA CORRUGATED SHEATHING
 SCALE: NTS



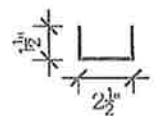
2.5" X 2.5" 14GA TUBE
 SCALE: NTS



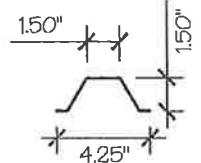
2.25" X 2.25" 12GA TUBE
 SCALE: NTS



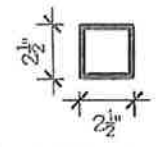
2" X 2" 14GA TUBE
 SCALE: NTS



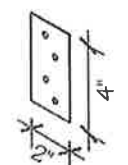
2.5" X 1.5" 14GA CHANNEL
 SCALE: NTS



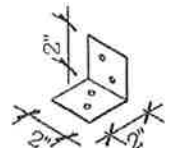
4.25" X 1.5" X 18GA / 14GA HAT CHANNEL
 SCALE: NTS



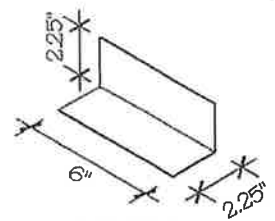
2.5" X 2.5" X 14GA TUBE W/ 2.25" X 2.25" X 12GA TUBE INSERT
 SCALE: NTS
 NOTE: INSERT FULL LENGTH & FIELD BOLT W/ [23] FASTENERS @ 12" C/C STAGGERED OPPOSITE FACE



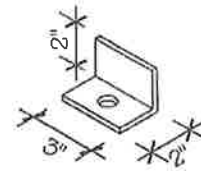
STRAIGHT BRACKET
 SCALE: NTS



ANGLE BRACKET
 SCALE: NTS



DB BRACKET
 SCALE: NTS



BASE ANGLE
 SCALE: NTS

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DRAWING INFORMATION

PROJECT: 30'-0" WIDE BUILDINGS
 LOCATION: STATE OF CALIFORNIA
 PROJECT NO.: 233-23-0049
 SHEET TITLE:

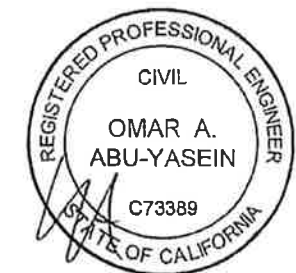
SCHEDULES & MEMBER SECTIONS

SHEET NO.: 2 / 11
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DRAWING INFORMATION

PROJECT: 30'-0" WIDE BUILDINGS

LOCATION: STATE OF CALIFORNIA

PROJECT NO.: 233-23-0049

SHEET TITLE:

FRAME SECTIONS & DETAILS

SHEET NO.: 3 / 11

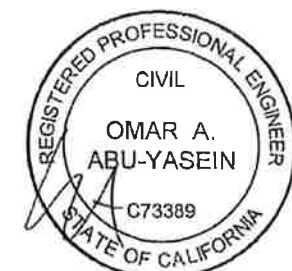
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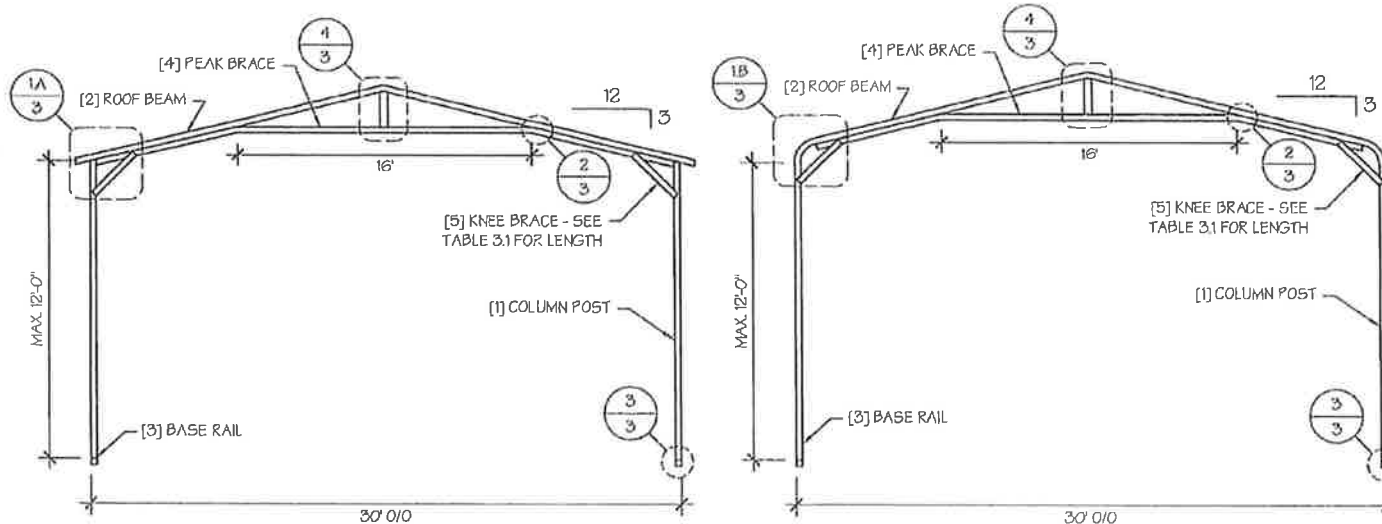
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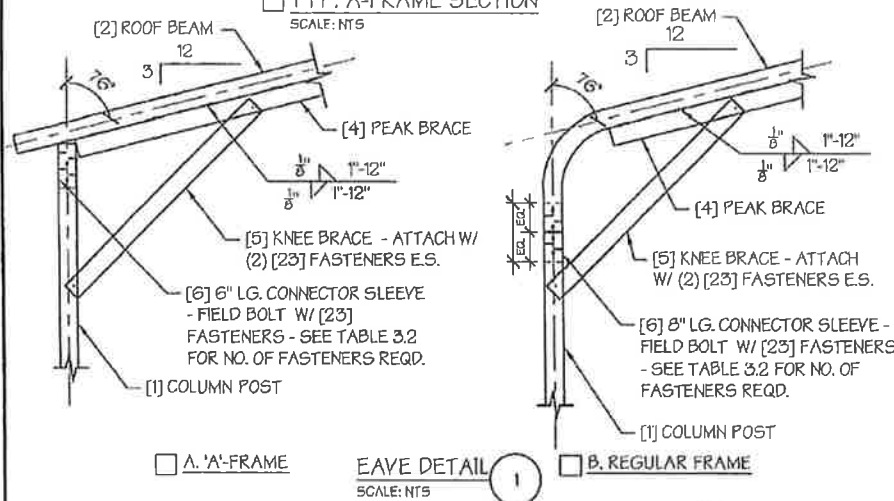


□ TYP. A-FRAME SECTION

SCALE: NTS

□ TYP. REGULAR FRAME SECTION

SCALE: NTS



□ A. 'A'-FRAME

EAVE DETAIL 1

SCALE: NTS

□ B. REGULAR FRAME

TABLE 3.1: KNEE BRACE SCHEDULE

EAVE HEIGHT	KNEE BRACE LENGTH
□ UP TO 8'	24"
□ 9' TO 12'	36"

TABLE 3.2 FASTENER SCHEDULE

WIND SPEED (MPH)	NO. OF FASTENERS
□ 105 TO 125	4
□ 130 TO 155	6
□ 160 TO 180	8

□ TYP. REGULAR FRAME SECTION

SCALE: NTS

[4] PEAK BRACE - DOUBLED ALONG ROOF MEMBER TILL EAVE ATTACH.

PEAK BRACE CONNECTION DETAILS 2

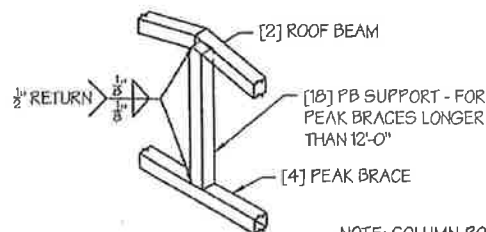
SCALE: NTS



[1] COLUMN POST - FIELD BOLT W/ [23] FASTENERS @ 12" STAGGERED

[6] 6" LG. CONNECTOR SLEEVE - FIELD BOLT W/ [23] FASTENERS - SEE TABLE 3.2 FOR NO. OF FASTENERS REQD.

[6] FULL LENGTH IN-LINE POST-FIELD BOLT W/ [2] FASTENERS 12" STAGG



PB SUPPORT DETAIL 4

SCALE: NTS

NOTE: COLUMN POST MAY BE ADJUSTED ±1" FOR LEVELING. MANUFACTURER IS NOT RESPONSIBLE FOR LEVELING OF GROUND AND/OR CONCRETE SURFACE PROVIDED BY OTHERS.

TABLE 4: FRAME SPACING CHART / SCHEDULE

GROUND SNOW / ROOF LIVE LOAD (PSF)	■ ENCLOSED BUILDINGS							■ OPEN BUILDINGS						
	WIND SPEED (MPH)							WIND SPEED (MPH)						
	□105	□115	□130	□140	□155	□165	□180	□105	□115	□130	□140	□155	□165	□180
□30 / 20	60	60	54/60	54	48	42/48	36/42	54	48/54	42/48	42	36/42	36	30
□40 / 27	48/60	48/60	42/60	42/54	48	42/48	36/42	48	48	42/48	42	36/42	36	30
□50 / 34	40/48	40/48	40/48	40/48	40/48	40/48	36/42	40/42	40/42	40/42	40/42	36	36	30
□60 / 41	36/42	36/42	36	36	36	36	36	36	36	30	30	30	30	24
□70 / 47	32/36	32/36	32/36	32/36	30	30	30	30	30	30	24	24	24	24
□80 / 54	24	24	24	24	24	24	24	24	24	24	24	24	24	---
□90 / 61	18	18	18	18	---	---	---	18	18	---	---	---	---	---
□30 / 20	60	60	54/60	54	48	42/48	36/42	54	48/54	42/54	42/48	36/42	36/42	30/36
□40 / 27	48/60	48/60	42/60	48/54	48	42/48	36/42	48	48	42/48	42/48	36/42	36/42	30/36
□50 / 34	40/54	40/54	40/54	40/48	40/48	40/48	36/42	40/42	40/42	40/42	40/42	36/42	36	30/36
□60 / 41	36/48	36/42	36/42	36/42	36/42	36/42	36/42	36	36	36	36	36	36	30/36
□70 / 47	32/36	32/36	32/36	32/36	32/36	30	30	30	30	30	24	24	24	24
□80 / 54	30	30	30	30	30	30	30	24	24	24	24	24	24	24
□90 / 61	24	24	24	24	24	24	24	18	18	18	18	18	18	18
□30 / 20	60	60	54/60	54	48	42/48	36/42	54	48/54	42/54	42/54	36/48	36/48	30/36
□40 / 27	48/60	48/60	42/60	42/54	42/48	42/48	36/42	48	48	42/48	42/48	36/48	36/48	30/36
□50 / 34	40/54	40/54	40/54	40/48	40/48	40/48	36/42	40/42	40/42	40/42	40/42	36/42	36/42	30/36
□60 / 41	36/48	36/48	36/48	36/48	36/42	36/42	36/42	36	36	36	36	36	36	30/36
□70 / 47	32/42	32/42	32/36	32/36	32/36	32/36	30	32/36	32/36	30	30	30	30	24
□80 / 54	30/36	30/36	30/36	30/36	30/36	30	30	30	30	30	30	30	24	24
□90 / 61	30/36	30/36	30	30	30	30	30	24	24	24	24	---	---	---

NOTES:

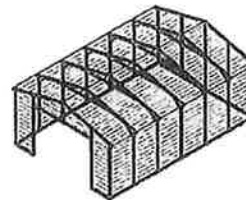
1. FRAME SPACINGS ARE IN UNITS OF INCHES (IN).
2. WHERE TWO VALUES ARE SHOWN, THE HIGHER VALUE CAN ONLY BE USED FOR VERTICAL SHEATHING.
3. SNOW LOADS AND ROOF LIVE LOADS ARE IN POUNDS PER SQUARE FOOT (PSF). WIND SPEED IS 3 SEC. GUST IN MILES PER HOUR (MPH).
4. FOR VALUES THAT LIE BETWEEN TWO CELLS, THE HIGHER (MORE STRINGENT) VALUE HAS TO BE USED. INTERPOLATION BETWEEN CELLS IS NOT ALLOWED.

ENCLOSURE CLASSIFICATION:

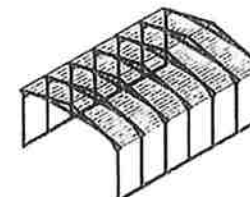
1. ENCLOSED BUILDING = ALL 4 WALLS FULLY ENCLOSED WITH DOORS/WINDOWS = USE ENCLOSED BUILDING SPACING CHART.
2. OPEN BUILDING = ALL 4 WALLS FULLY OPEN = USE OPEN BUILDING SPACING CHART.
3. 3FT PARTIALLY ENCLOSED = BOTH END-WALLS FULLY OPEN, WITH BOTH SIDE-WALLS ONLY 3FT ENCLOSED = USE OPEN BUILDING SPACING CHART.
4. PARTIALLY ENCLOSED = BOTH END-WALLS FULLY OPEN, WITH BOTH SIDE-WALLS ENCLOSED MORE THAN 3FT = START WITH OPEN BUILDING SPACING CHART AND THEN REDUCE SPACING BY 6".
5. 3 SIDED ENCLOSED = ALL WALLS ARE ENCLOSED EXCEPT FOR 1 END-WALL = START WITH ENCLOSED BUILDING SPACING + THE OPEN END FRAME MUST HAVE EITHER A GABLED END OR HAVE DOUBLED WELDED LEGS & ROOF.
6. FOR ALL SHEATHING ENCLOSURES NOT LISTED ABOVE, REFER TO SHEET 5 FOR SPACING AND DESIGN REQUIREMENTS.

GENERAL NOTES:

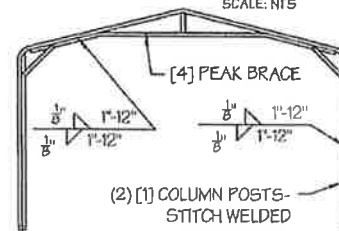
1. THE MAX. BUILDING LENGTH FOR ENCLOSED BUILDINGS IS 50'-0". THIS CAN BE INCREASED BY ADDING A DOUBLE FRAME AT THE CENTER TO BREAK THE LENGTH OF THE BUILDING.
2. BUILDINGS WITH PARTIALLY ENCLOSED END WALLS NEED TO HAVE SIDE WALL BRACING TO SUPPORT THE PARTIALLY ENCLOSED END WALL. (SEE FIGURE A ON SHEET 5).



TYP. ENCLOSED BUILDING
SCALE: NTS



TYP. OPEN BUILDING
SCALE: NTS



TYP. OPEN END WALL ON 3
SIDE ENCLOSED BUILDING
SCALE: NTS

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DRAWING INFORMATION

PROJECT: 30'-0" WIDE BUILDINGS

LOCATION: STATE OF CALIFORNIA

PROJECT NO.: 233-23-0049

SHEET TITLE:

SPACING SCHEDULES
& ENCLOSURE NOTES

SHEET NO.: 4 / 11

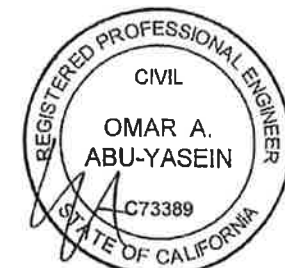
DRAWN BY: A.W. DATE: 2/2/22

CHECKED BY: OAA DATE: 2/2/22

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TABLE 5.1: PURLIN SPACING SCHEDULE

GROUND SNOW / ROOF LIVE LOAD (PSF)	14GA. HAT CHANNEL PURLIN						
	WIND SPEED (MPH)						
	105	115	130	140	155	165	180
□ 30 / 20	54	48	42	36	30	24	24
□ 40 / 27	42	42	42	36	30	24	24
□ 50 / 34	40	40	40	36	30	24	24
□ 60 / 41	36	36	36	36	30	24	24
□ 70 / 47	32	32	32	32	30	24	24
□ 80 / 54	30	30	30	30	30	24	24
□ 90 / 61	24	24	24	24	24	24	24
□ 30 / 20	54	48	42	42	36	30	30
□ 40 / 27	42	42	42	42	36	30	30
□ 50 / 34	40	40	40	40	36	30	30
□ 60 / 41	36	36	36	36	36	30	30
□ 70 / 47	32	32	32	32	32	30	30
□ 80 / 54	32	32	32	32	32	30	30
□ 90 / 61	30	30	30	30	30	30	30
□ 30 / 20	54	48	42	42	36	36	30
□ 40 / 27	42	42	42	42	36	36	30
□ 50 / 34	40	40	40	40	36	36	30
□ 60 / 41	36	36	36	36	36	36	30
□ 70 / 47	32	32	32	32	32	32	30
□ 80 / 54	32	32	32	32	32	32	30
□ 90 / 61	30	30	30	30	30	30	30
□ 30 / 20	54	48	42	42	36	36	30
□ 40 / 27	42	42	42	42	36	36	30
□ 50 / 34	40	40	40	40	36	36	30
□ 60 / 41	36	36	36	36	36	36	30
□ 70 / 47	32	32	32	32	32	32	30
□ 80 / 54	32	32	32	32	32	32	30
□ 90 / 61	30	30	30	30	30	30	30

NOTES:

1. PURLIN SPACING UNITS ARE IN INCHES.
2. FRAME SPACING NEEDS TO BE DETERMINED FROM TABLE 4.

IRREGULAR BUILDING NOTES:

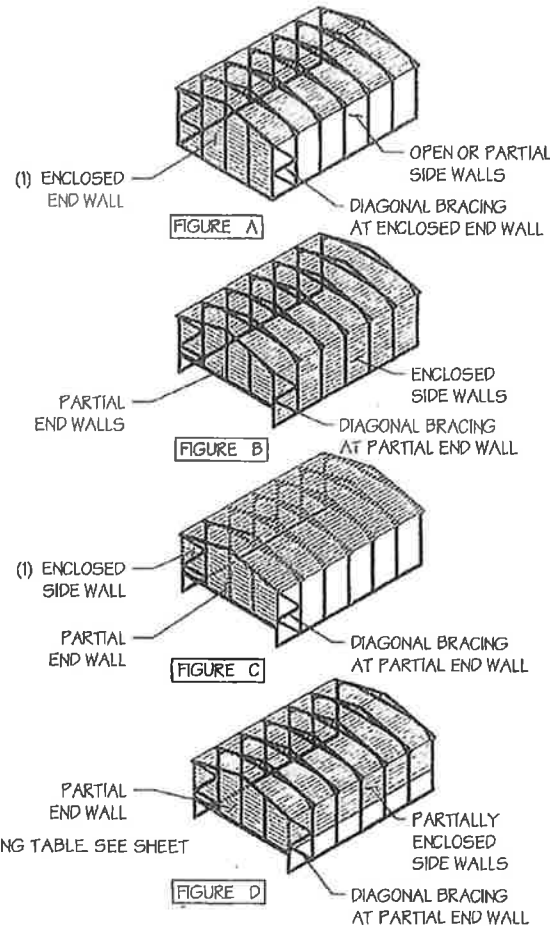
1. FIGURES A, B, C & D ON THE RIGHT INDICATE EXAMPLES OF IRREGULAR BUILDINGS.
2. FOR IRREGULAR BUILDINGS, FRAME SPACING MUST BE REDUCED BY 6" FROM OPEN BUILDING SPACING TABLE. SEE SHEET 4 FOR OPEN BUILDING TABLE.
3. SITE SPECIFICS MAY ALLOW FOR ALTERNATIVE SPACING.

TABLE 5.2: GIRT SPACING SCHEDULE

FRAME SPACING	WIND SPEED (MPH)						
	105	115	130	140	155	165	180
□ 5'-0"	60	48	36	30	24	24	18
□ 4'-6"	60	60	48	42	36	30	24
□ 4'-0"	60	60	54	54	42	36	30
□ 3'-6"	60	60	54	54	48	42	42
□ 2'-0" TO 3'-0"	60	60	54	54	48	42	42

NOTES:

1. GIRT SPACING UNITS ARE IN INCHES.
2. THIS SCHEDULE IS TO BE USED FOR BOTH 14GA
3. FRAME SPACING NEEDS TO BE DETERMINED FROM TABLE 4.



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DRAWING INFORMATION

PROJECT: 30'-0" WIDE BUILDINGS

LOCATION: STATE OF CALIFORNIA

PROJECT NO.: 233-23-0049

SHEET TITLE:

PURLIN & GIRT
SPACING SCHEDULES

SHEET NO.: 5 / 11

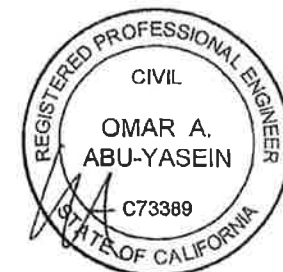
DRAWN BY: A.W. DATE: 2/2/22

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LEGAL INFORMATION

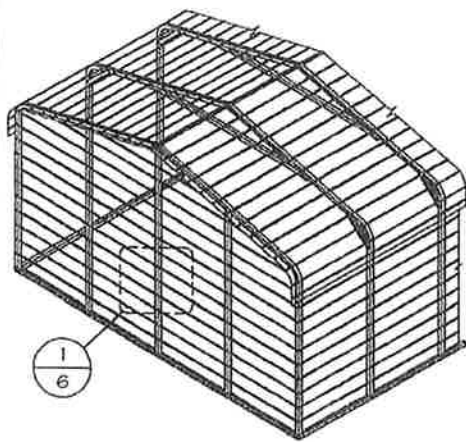
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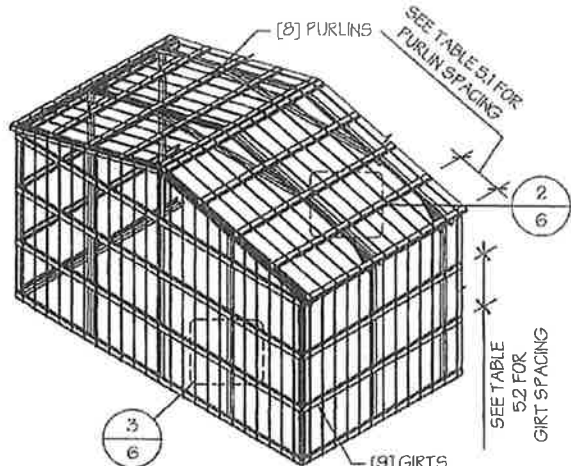


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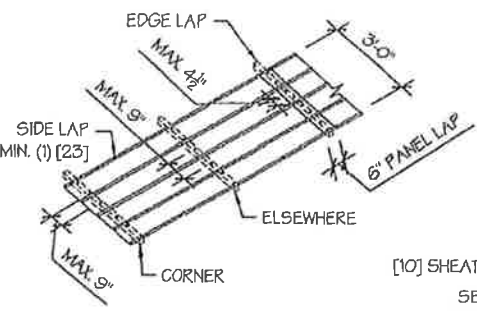
TYP. HORIZONTAL SHEATHING
SCALE: NTS



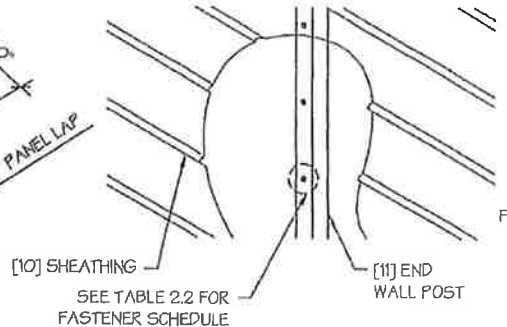
TYP. VERTICAL SHEATHING
SCALE: NTS

GENERAL SHEATHING NOTES:

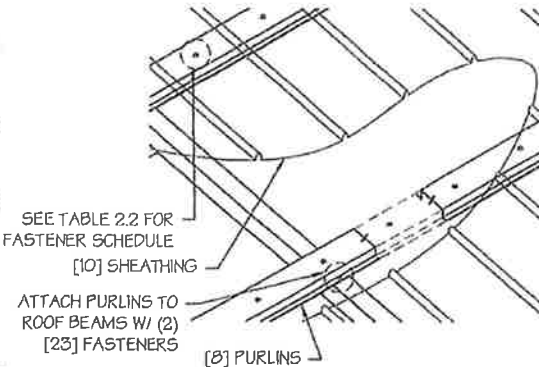
1. REGULAR STYLE BUILDINGS CAN ONLY HAVE HORIZONTAL SHEATHING ON ROOF AND WALLS.
2. A-FRAME STYLE BUILDINGS CAN HAVE ANY COMBINATION OF HORIZONTAL OR VERTICAL SHEATHING ON ROOFS AND WALLS.
3. BOTH HORIZONTAL AND VERTICALS ROOF SHEATHING CAN HAVE MAX. 6" OVERHANG.
4. USING VERTICAL SHEATHING MAY ALLOW FOR GREATER FRAME SPACING. SEE NOTE 2 UNDER TABLE 4.
5. VERTICAL SHEATHING RECOMMENDED FOR BUILDINGS 30' OR LONGER



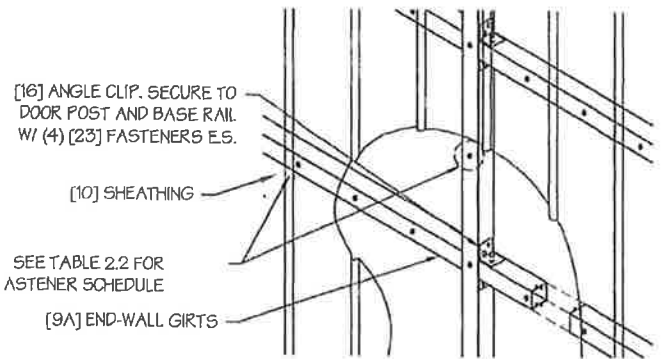
TYP. SHEATHING FASTENER SCHEDULE
SCALE: NTS



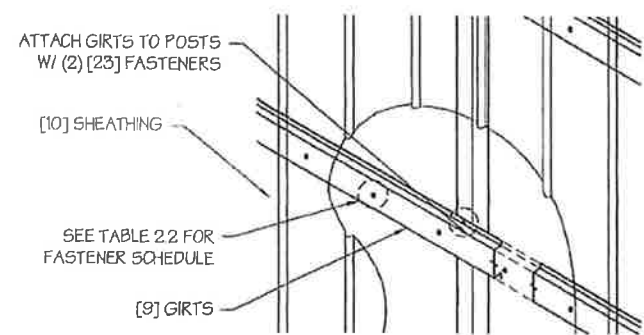
TYP. HORIZONTAL SHEATHING DETAIL 1
SCALE: NTS



ROOF VERTICAL SHEATHING DETAIL 2
SCALE: NTS



WALL VERTICAL SHEATHING - TUBE DETAIL 3
SCALE: NTS



WALL VERTICAL SHEATHING - HAT CHANNEL DETAIL 3
SCALE: NTS

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DRAWING INFORMATION

PROJECT: 30'-0" WIDE BUILDINGS

LOCATION: STATE OF CALIFORNIA

PROJECT NO.: 233-23-0049

SHEET TITLE:

SHEATHING OPTIONS & DETAILS

SHEET NO.: 6 / 11

DRAWN BY: A.W. DATE: 2/2/22

CHECKED BY: OAA DATE: 2/2/22

LEGAL INFORMATION

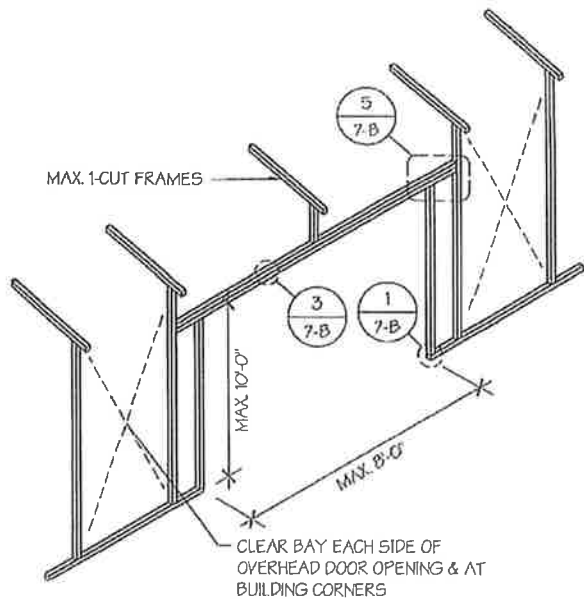
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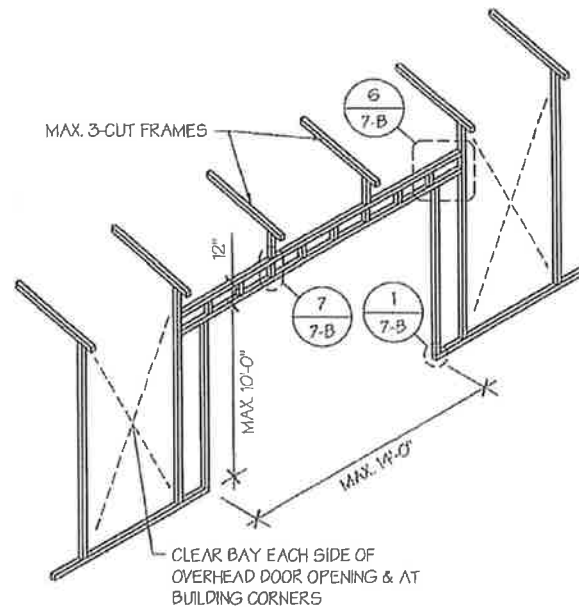


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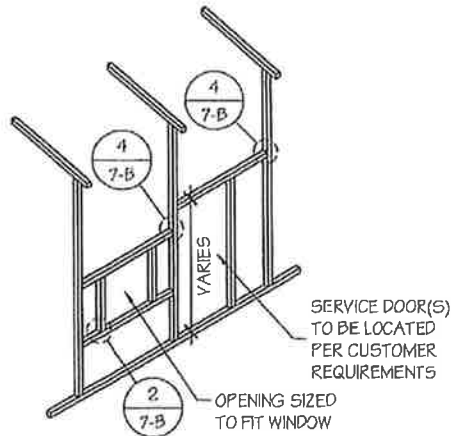
DATE SIGNED: 01-13-2023



SIDE WALL OVERHEAD DOOR OPENINGS
SCALE: NTS



SIDE WALL OVERHEAD DOOR OPENINGS WITH TRUSS STYLE HEADER
SCALE: NTS



SIDE WALL SERVICE DOOR / WINDOW OPENINGS
SCALE: NTS

SIDE WALL FRAMING NOTES:

1. TRUSS-STYLE HEADERS ARE REQUIRED FOR WHERE THE GROUND SNOW LOAD IS 40 PSF OR GREATER.
2. DESIGNS AND DETAILS SHOWN HERE ARE APPLICABLE TO BOTH REGULAR AND A-FRAME STYLE BUILDINGS.
3. MAX. HEIGHT OF SIDE WALL OVERHEAD DOOR OPENINGS IS 2 FT LESS THAN THE EAVE HEIGHT.
4. OVERHEAD DOOR OPENINGS CANNOT CUT THROUGH MORE THAN 2 FULL FRAMES.
5. MIN. 1 CLEAR BAY MUST BE MAINTAINED BETWEEN ANY 2 OVERHEAD DOOR OPENINGS. A CLEAR BAY IS A SPACE BETWEEN TWO FRAMES THAT HAS NO OVERHEAD DOOR OPENINGS.
6. MIN. 1 CLEAR BAY MUST ALSO BE MAINTAINED FROM THE BUILDING CORNERS.
7. SERVICE DOORS AND WINDOWS CAN BE PLACED IN CLEAR BAYS OR ANY WHERE ELSE AS NEEDED.

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DRAWING INFORMATION

PROJECT: 30'-0" WIDE BUILDINGS

LOCATION: STATE OF CALIFORNIA

PROJECT NO.: 233-23-0049

SHEET TITLE:

**SIDE WALL FRAMING
& OPENINGS**

SHEET NO.: 7-A / 11

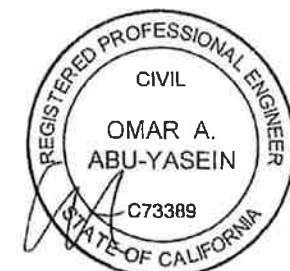
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DRAWING INFORMATION

PROJECT: 30'-0" WIDE BUILDINGS

LOCATION: STATE OF CALIFORNIA

PROJECT NO.: 233-23-0049

SHEET TITLE:

**SIDE WALL FRAMING
DETAILS**

SHEET NO.: 7-B / 11

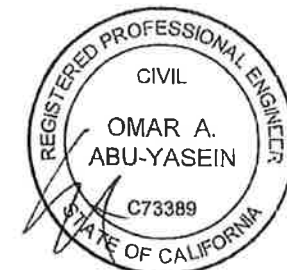
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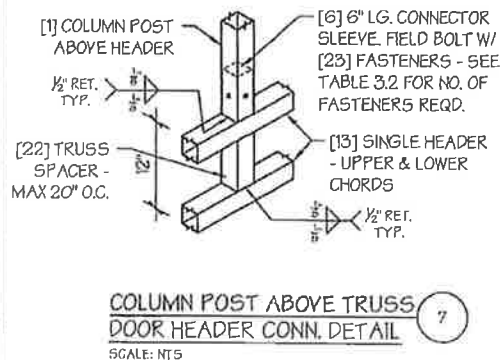
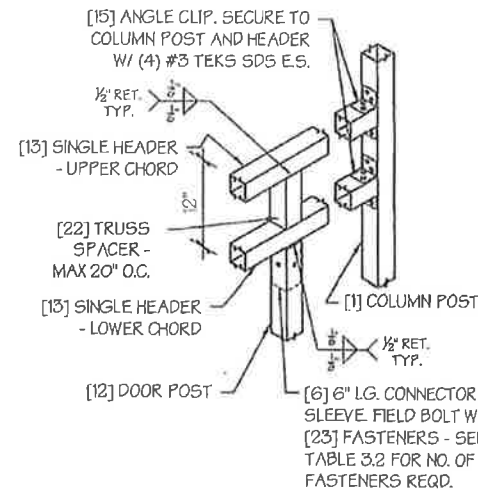
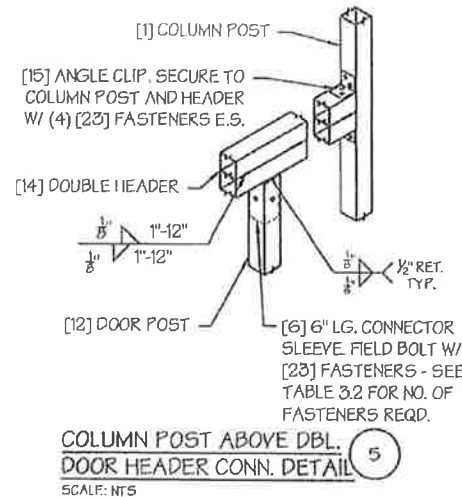
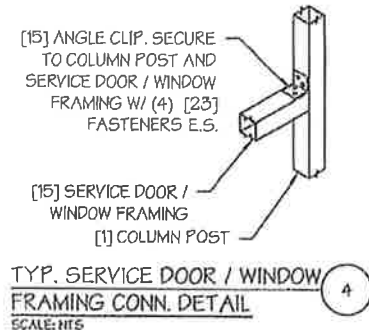
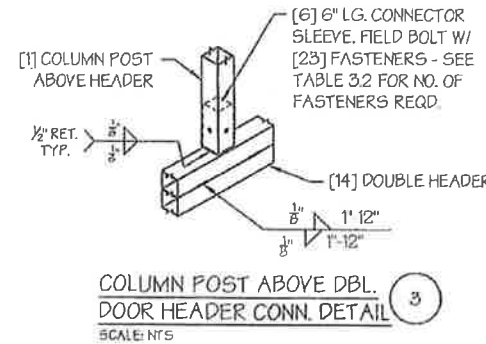
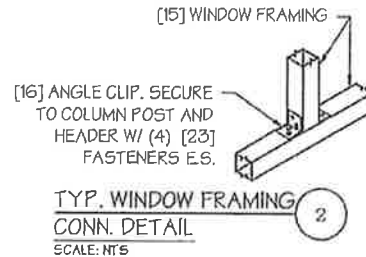
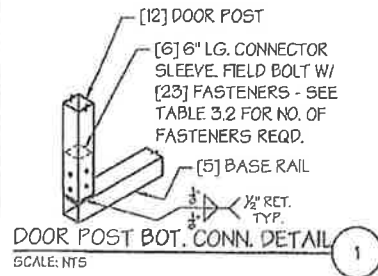
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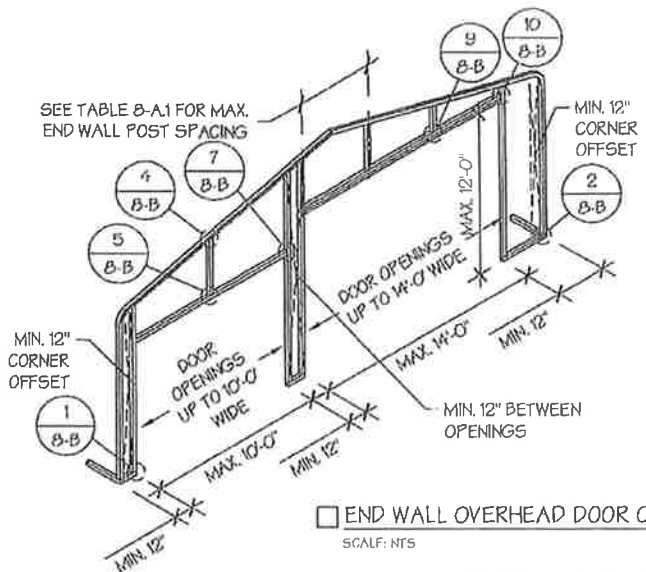
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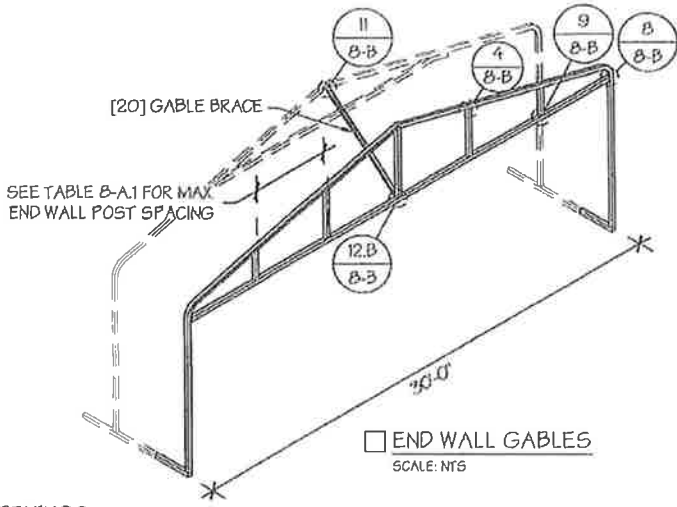
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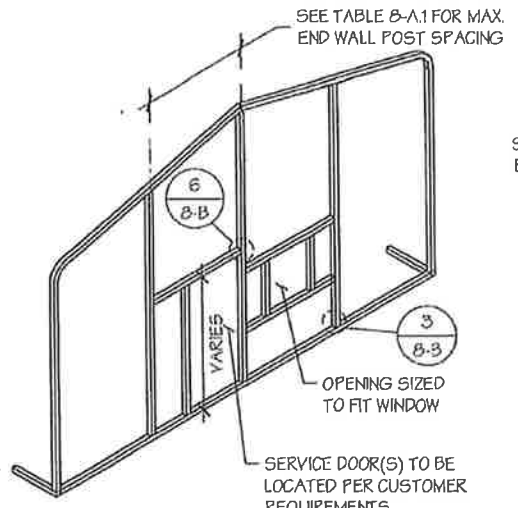




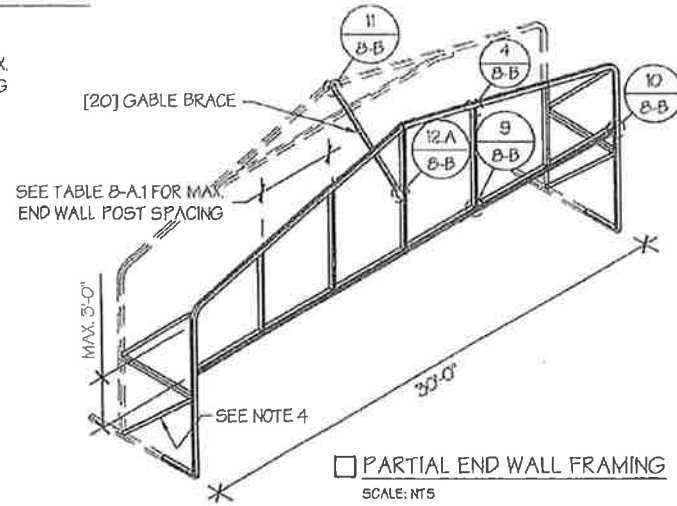
END WALL OVERHEAD DOOR OPENINGS
SCALE: NTS



END WALL GABLES
SCALE: NTS



END WALL SERVICE DOOR AND WINDOW OPENINGS
SCALE: NTS



PARTIAL END WALL FRAMING
SCALE: NTS

GABLE BRACING NOTE

1. GABLE BRACE IS ONLY REQUIRED FOR PARTIALLY ENCLOSED END WALLS (END WALL POSTS ARE NOT ANCHORED TO THE GROUND).
2. FULLY ENCLOSED OR OPEN END WALLS DO NOT REQUIRE GABLE BRACING.

END WALL FRAMING NOTES:

1. DESIGNS AND DETAILS SHOWN HERE ARE APPLICABLE TO BOTH REGULAR AND A-FRAME STYLE BUILDINGS.
2. MIN. 12" CLEARANCE MUST BE MAINTAINED BETWEEN ANY TWO OPENINGS (OVERHEAD DOOR OR SERVICE DOOR) AND FROM CORNERS.
3. SERVICE DOORS AND WINDOWS CAN BE PLACED AS NEEDED.
4. DIAGONAL BRACES NEED TO BE ADDED FOR PARTIAL END WALL ENCLOSURES. SEE SHEET 9 FOR DIAGONAL BRACE CONNECTION DETAILS.

TABLE B-A.1: END WALL POST SPACING SCHEDULE

WIND SPEED (MPH)	EAVE HEIGHT		
	UP TO 7'	8' TO 9'	10' TO 12'
<input type="checkbox"/> 105	5'	5'	5'
<input type="checkbox"/> 115	5'	5'	4.5'
<input type="checkbox"/> 130	4.5'	4.5'	4'
<input type="checkbox"/> 140	4.5'	4.5'	3'
<input type="checkbox"/> 155	4'	4'	2.5'
<input type="checkbox"/> 165 - 180	3.5'	3'	2'

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PROJECT: 30'-0" WIDE BUILDINGS
LOCATION: STATE OF CALIFORNIA
PROJECT NO.: 233-23-0049
SHEET TITLE:

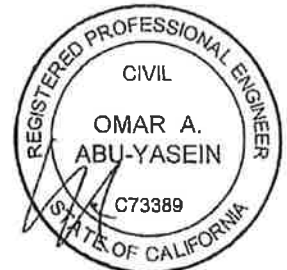
END WALL FRAMING

SHEET NO.: B-A / 11
DRAWN BY: A.W. DATE: 2/2/22
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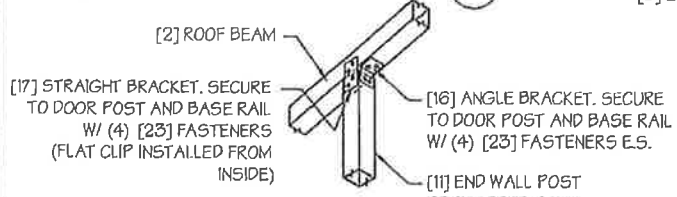
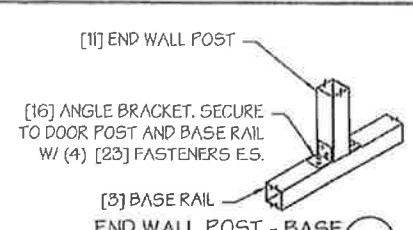
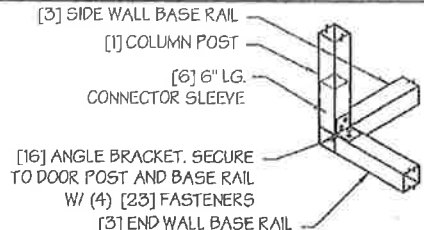
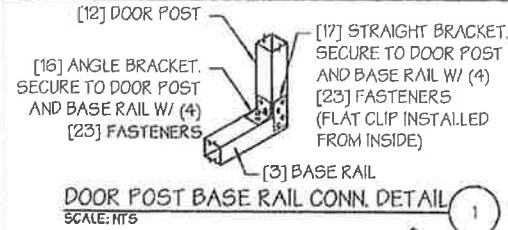
LEGAL INFORMATION

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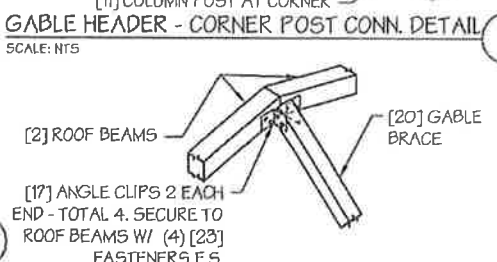
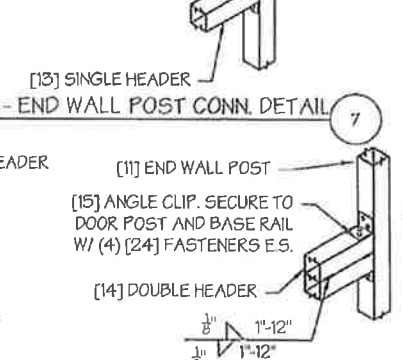
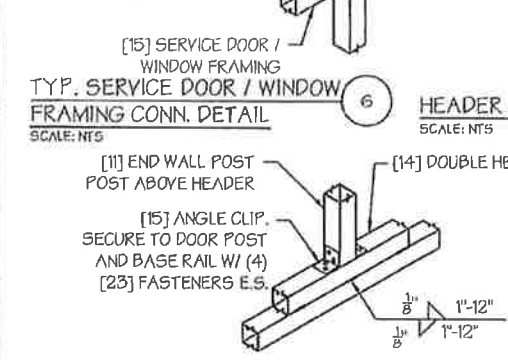
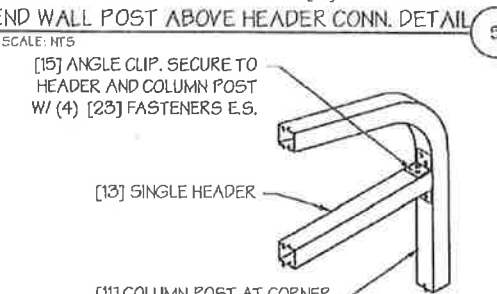
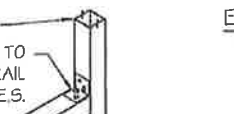
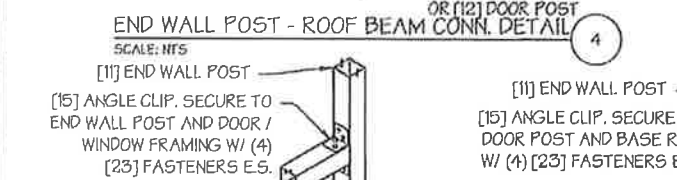
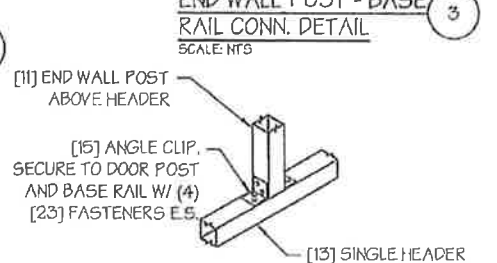
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STAMP EXPIRY: 12-31-2024
DATE SIGNED: 01-13-2023



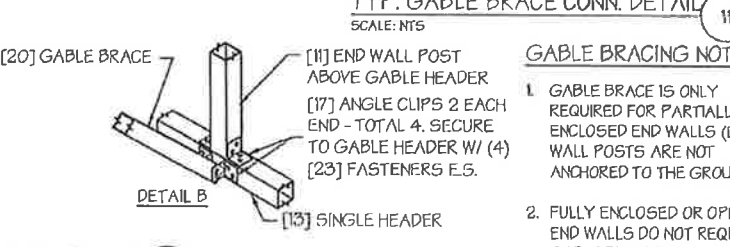
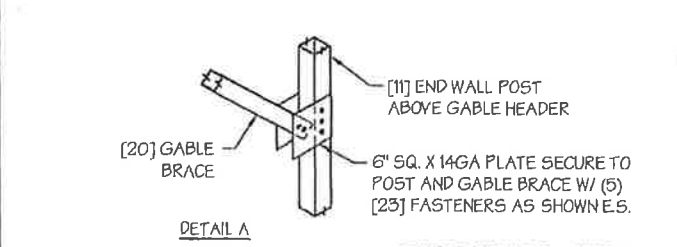
CORNER DETAIL 2
SCALE: NTS



END WALL POST ABOVE DOUBLE HEADER CONN. DETAIL 9
SCALE: NTS

DOUBLE HEADER - END WALL POST CONN. DETAIL 10
SCALE: NTS

TYP. GABLE BRACE CONN. DETAIL 11
SCALE: NTS



GABLE BRACE - END WALL CONN. DETAIL 12
SCALE: NTS

MANUFACTURED BY:

457 N. Broadway,
Joshua, TX 76058
1-866-730-9865

ENGINEERED BY:

A&A ENGINEERING
CIVIL • STRUCTURAL
6063 Renaissance Place, Toledo, OH 43623
Tel. 419-292-1983 • Fax. 419-292-0955
www.a-a-engineers.com

DRAWING INFORMATION

PROJECT: 30'-0" WIDE BUILDINGS
LOCATION: STATE OF CALIFORNIA
PROJECT NO.: 233-23-0049
SHEET TITLE:
END WALL FRAMING DETAILS

SHEET NO.: B-B / 11
DRAWN BY: A.W. DATE: 2/2/22
CHECKED BY: OAA DATE: 2/2/22

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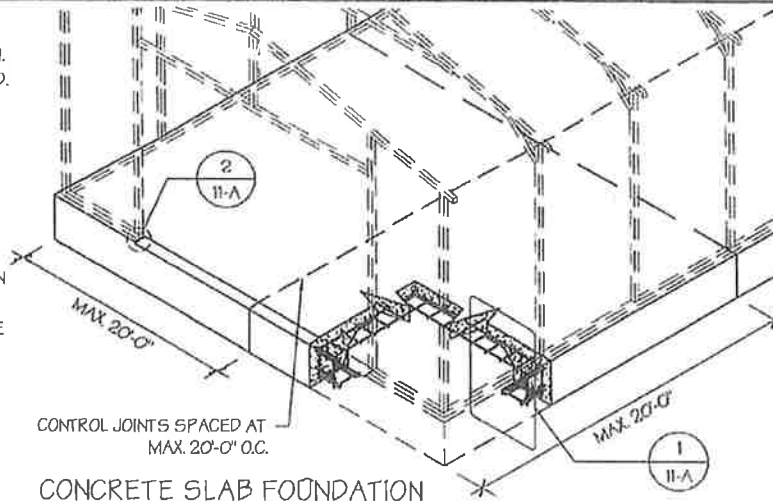
SEAL:

REGISTERED PROFESSIONAL ENGINEER
CIVIL
OMAR A. ABU-YASEIN
C73389
STATE OF CALIFORNIA

STAMP EXPIRY: 12-31-2024
DATE SIGNED: 01-13-2023

CONCRETE SLAB FOUNDATION NOTES:

- DESIGNS SHOWN ON THIS SHEET ARE FOR CONCRETE SLAB FOUNDATION. ANY OF THE FOUNDATIONS SHOWN ON SHEETS 11-A THRU D CAN BE USED.
- CONCRETE ANCHORS SHALL BE LOCATED NEXT TO EVERY POST AND ON EITHER SIDE OF OPENINGS. TWO ANCHORS SHALL BE INSTALLED AT CORNERS OF ENCLOSED BUILDINGS WITH END WALLS - ONE ON EACH BASE RAIL. IN LOCATIONS REQUIRING TWO ANCHORS DUE TO WIND, ONE ANCHOR IS TO BE ON EACH SIDE OF THE COLUMN POST.
- ANCHORS IN CLOSE PROXIMITY TO EACH OTHER MUST HAVE A MIN. 4" SPACING.
- MIN. NUMBER OF CONCRETE ANCHORS PER POST SHALL BE AS SHOWN IN TABLE 11-A.2.
- THE SIZE OF THE SLAB SHALL BE THE SIZE (WIDTH AND LENGTH) OF THE BUILDING PLUS 5 1/2" FOR 14GA MATERIAL AND 5 3/4" FOR 12GA MATERIAL.
- DEPTH OF SLAB TURN DOWN FOOTING SHALL BE GREATER THAN FROST DEPTH SPECIFIED PER LOCAL CODE.
- CONTROL JOINTS SHALL BE PLACED SO AS TO LIMIT MAX. SLAB SPANS TO 20' IN EACH DIRECTION.
- ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.
- CONCRETE STRENGTH TO BE A MIN OF 2500 PSI @ 28 DAYS.



CONTROL JOINTS SPACED AT MAX. 20'-0" O.C.

CONCRETE SLAB FOUNDATION

SCALE: NTS

MANUFACTURED BY:



457 N. Broadway,
Joshua, TX 76058
1-866-730-9865

ENGINEERED BY:



A&A ENGINEERING
CIVIL + STRUCTURAL
6069 Renaissance Place, Toledo, OH 43623
Tel. 419-292-1983 • Fax. 419-292-0955
www.a-a-engineer.com

DRAWING INFORMATION

PROJECT: 30'-0" WIDE BUILDINGS

LOCATION: STATE OF CALIFORNIA

PROJECT NO.: 233-23-0049

SHEET TITLE:

**FOUNDATION OPTION 1:
CONCRETE SLAB**

SHEET NO.: 11-A / 11

DRAWN BY: A.W. DATE: 2/2/22

CHECKED BY: OAA DATE: 2/2/22

LEGAL INFORMATION

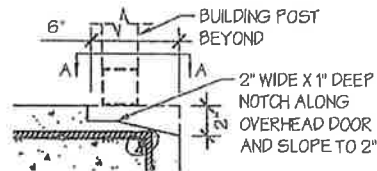
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SEAL:



STAMP EXPIRY: 12-31-2024

DATE SIGNED: 01-13-2023



OVERHEAD DOOR NOTCH DETAIL

SCALE: NTS

2

TABLE 11-A.1: NOTCH WIDTH

HORIZONTAL/OPEN		VERTICAL	
□ 14GA	□ 12GA	□ 4GA	□ 12GA
2 3/4"	2 7/8"	1 3/4"	1 7/8"

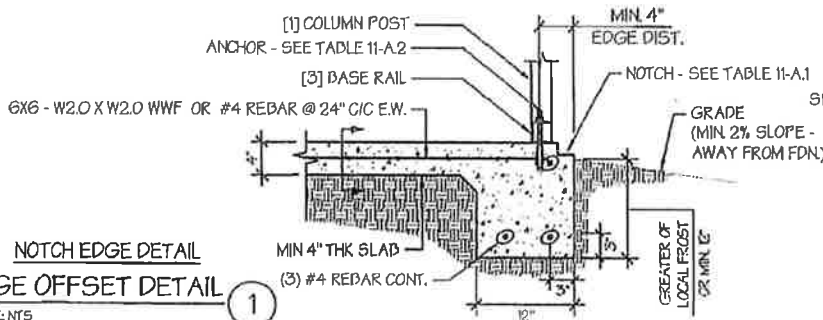
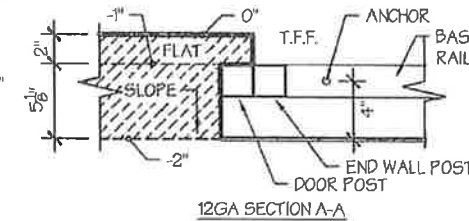
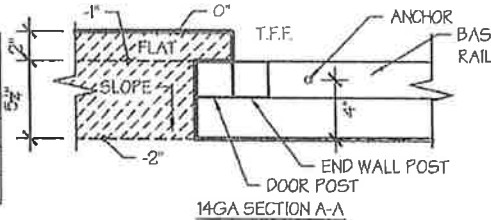
NOTE: DEPTH IS TO BE 1 1/2"

TABLE 11-A.2: CONCRETE SLAB ANCHOR SCHEDULE

ENCLOSURE	WIND SPEED (MPH)	ANCHOR SIZE/NUMBER
ENCLOSED	□ 105 TO 135	(1) 1/2"Ø X 7"
	□ 136 TO 180	(2) 1/2"Ø X 7"
OPEN	□ 105 TO 135	(1) 1/2"Ø X 7"
	□ 136 TO 180	(2) 1/2"Ø X 7"

NOTES:

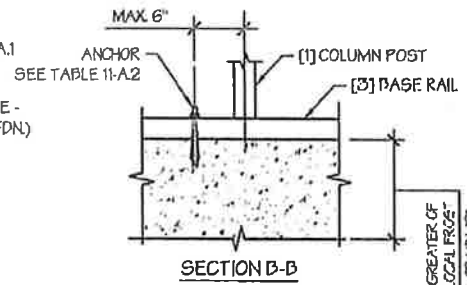
- ANCHORS ARE TO BE CONCRETE WEDGE OR EXPANSION ANCHORS.
- MIN. EMBEDMENT DEPTH TO BE 2 3/4".
- ANCHORS TO BE SPACED NO MORE THAN 6" FROM POSTS.



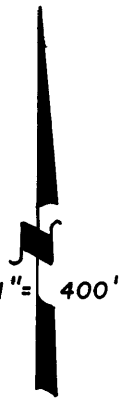
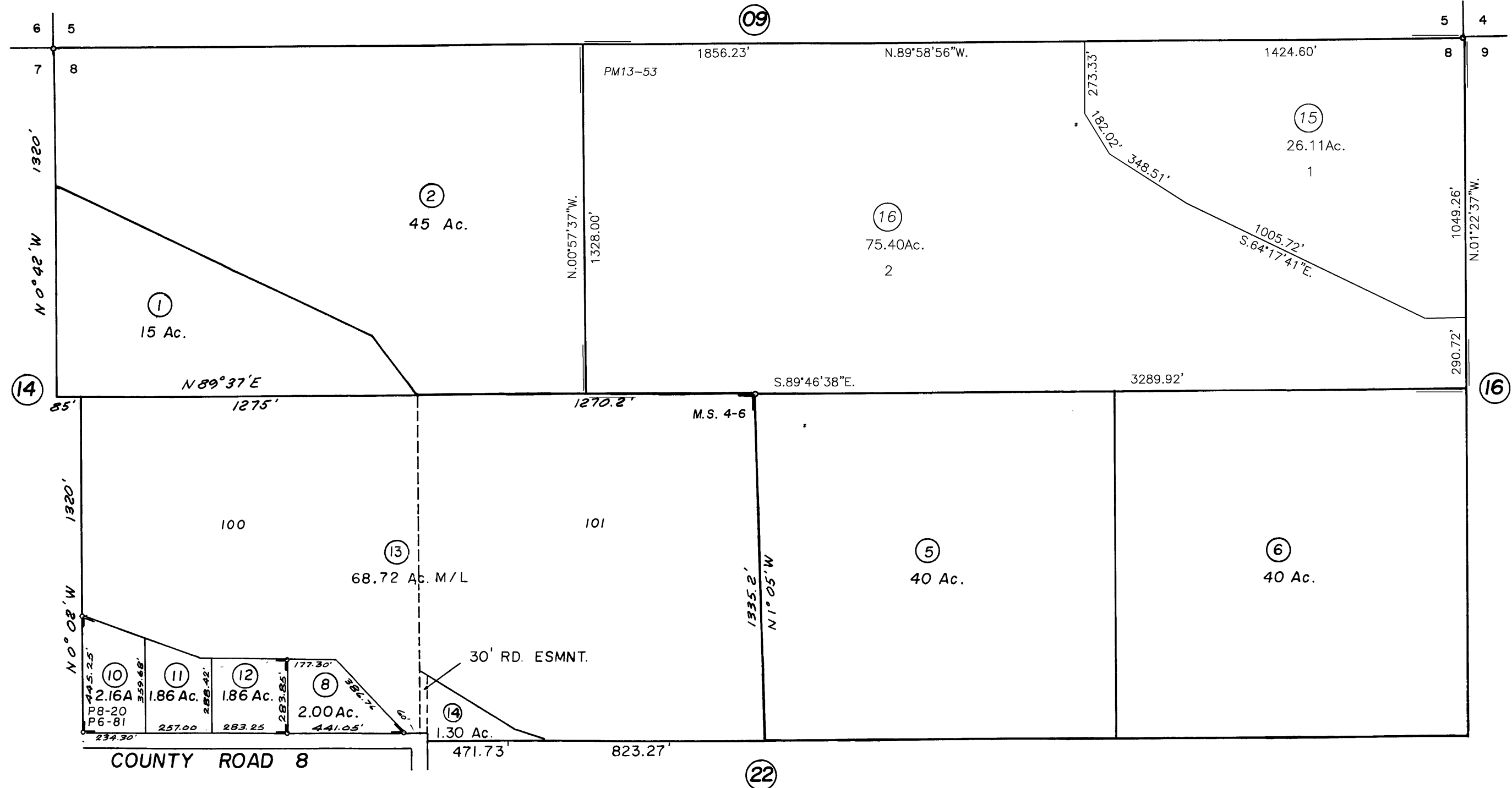
□ NOTCH EDGE DETAIL
EDGE OFFSET DETAIL

SCALE: NTS

1



POR. ORLAND LAND COMPANY MURDOCK SUBDIVISION &
 POR. SEC. 8, T. 22 N., R. 3 W., M. D. B. & M.



M. & S., Bk. 4, Pg. 6 - Murdock Subdivision
 P.M. Bk. 6, Pg. 81; Bk. 8, Pg. 20
 P.M. Bk. 13, Pg. 53

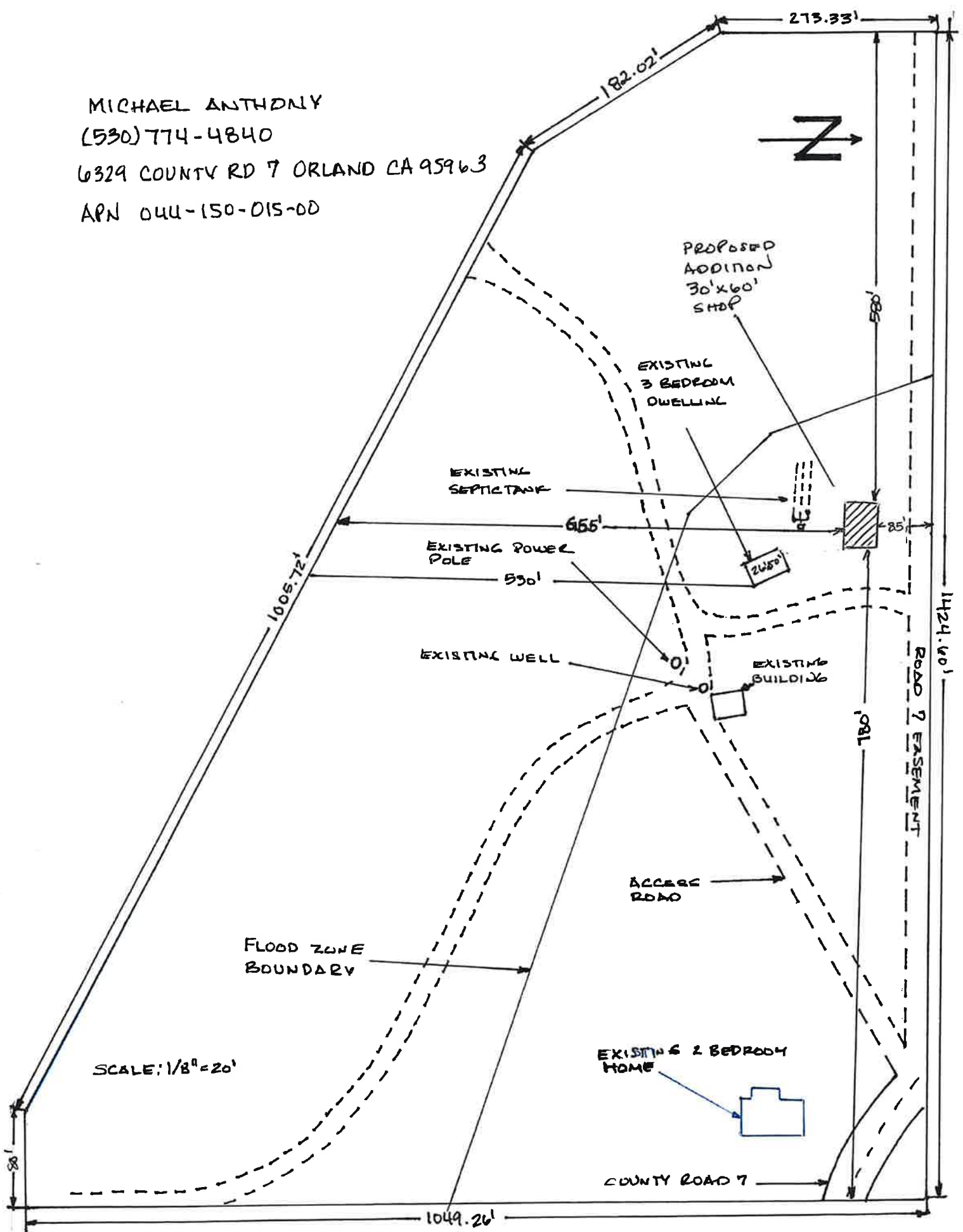
NOTE - Assessor's Block Numbers Shown in Ellipses
 Assessor's Parcel Numbers Shown in Circles

Assessor's Map Bk. 44 -Pg. 15

County of Glenn, Calif.

2008

MICHAEL ANTHONY
(530) 774-4840
6329 COUNTY RD 7 ORLAND CA 95963
APN 044-150-015-00



SCALE: 1/8" = 20'



ROAD 7 EASEMENT

EXISTING 2 BEDROOM HOME

PROPOSED ADDITION 30'x60' SHOP

EXISTING 3 BEDROOM DWELLING

EXISTING SEPTIC TANK

EXISTING POWER POLE

EXISTING WELL

EXISTING BUILDING

ACCESS ROAD

FLOOD ZONE BOUNDARY

COUNTY ROAD 7

18'

1049.26'

1005.72'

655'

530'

181'

585'

85'

1424.00'

182.02'

273.33'